



# Draft Clear and Objective Housing Amendments

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Public Discussion Draft  
May 15, 2014

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Comments **due by June 10, 2014**. See  
inside cover for more information on  
how to submit your comments.

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## HOW TO SUBMIT COMMENTS

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For more information or to provide comments on the Draft Clear and Objective Housing Amendments, please contact:

Sarah Selden, Associate Planner  
City of Lake Oswego Planning & Building Services Department  
380 A Avenue  
P.O. Box 369  
Lake Oswego, OR 97034  
Phone: 503-697-6524  
Email: [sselden@ci.oswego.or.us](mailto:sselden@ci.oswego.or.us)

A copy of this report and more information about this project can be found at:  
<http://www.ci.oswego.or.us/planning/development-code-updates>

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# I. INTRODUCTION

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## Project Summary

This report is a public discussion draft for review of proposed amendments to add Clear and Objective Housing Standards to the Community Development Code (CDC). These amendments are being proposed as part of Lake Oswego's Periodic Review task, which requires the City to bring its Community Development Code (CDC) into compliance with State rules and statutes (Oregon Revised Statute 197.307: Approval Standards for Certain Housing in Urban Growth Areas, and Oregon Administrative Rule (OAR) 660-007-0015: Clear and Objective Approval Standards Required). The intent of the State requirement is to reduce unnecessary costs and delays in permitting needed housing. Needed housing includes single- and multi-family dwellings, attached and detached.

The CDC includes discretionary standards in several sections. The majority of these discretionary standards apply to housing in the city's design districts and to attached housing of three or more units. The standards that apply to single-family detached homes in the city's residential zones have been written to be clear and objective. Following is a list of code key sections that contain discretionary language applicable to housing, and are being addressed as part of this project:

- **Building Design: Commercial, Industrial and Multi-Family Development and Minor Development in the R-DD (Old Town) Zone** [LOC 50.06.001.5]
- **Downtown Redevelopment Design District** [LOC 50.05.004]
- **West Lake Grove Design District** [LOC 50.05.005]
- **Old Town Neighborhood Design** [LOC 50.05.006]
- **Lake Grove Village Center Overlay District** [LOC 50.05.007]
- **Appendix A: Lake Oswego Styles** [LOC 50.11.001]
- **Appendix C: Old Town Styles** [LOC 50.11.003]

A two-track process is proposed, where the clear and objective standards will become an optional new development review track for housing development. Developers can choose to follow the new clear and objective review track and comply with all of the specific standards, or follow the discretionary review track and comply with existing standards that are both discretionary and objective. The Planning Commission recently discussed what type of review would be involved with a clear and objective track, and favored classifying it as Minor Development (the same process required for the review of design district, attached and multifamily housing today).

## Draft Amendments

Sections III through V of this report include the proposed amendments along with imbedded commentary boxes explaining the proposed changes.

Discretionary standards are scattered throughout the code sections listed above. The Discussion Draft has organized the clear and objective standards for each section with the assumption that there will be separate, new sections created for each of the code sections with major updates. These new sections would contain the optional clear and objective standards. With the exception of the Lake Grove Village Center Overlay District, different versions of the major code sections would apply depending on whether the applicant followed the discretionary review track, or chose to follow the optional new clear and objective review track.

The proposed amendments to these existing code sections are illustrated by ~~strikeout~~ for language that is proposed to be deleted and double underline for language that is proposed to be added.

**Please note that for the purpose of understanding how the clear and objective version of the code differs from the discretionary version, existing discretionary language is shown in strikeout in the Discussion Draft.**

Please also note that a significant amount of re-numbering has taken place, and code references may not reflect their final location. This will be closely reviewed as part of creating a final draft for the public hearing.

## II. CODE AMENDMENT PROCESS

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### Background and Schedule

In 2011, the City received a grant from the Department of Land Conservation and Development (DLCD) to support the Periodic Review task to develop clear and objective housing standards. Staff worked with an urban design and planning consultant to develop code concepts and draft code amendments; these were reviewed by a project Advisory Committee, the Planning Commission and Development Review Commission during the winter and spring of 2013. Due to staff resources and Planning Commission schedules, this project was placed on hold during the second half of 2013. The project was restarted in 2014 and has focused on Planning Department review of the draft standards, discussions pertaining to the review process and organization of the code standards, and public outreach.

The tentative project schedule is as follows:

- Public meeting and release of Public Discussion Draft May 15
- Comments on Public Discussion Draft due June 10 (comments may also be submitted at the Planning Commission and City Council work sessions and hearings)
- Planning Commission work session June 23
- Planning Commission hearing August 11
- City Council hearing TBD

### Community Involvement

This Public Discussion Draft reflects staff's draft amendments and do not necessarily constitute the final draft of the amendments. This draft allows for the items to be considered by the public before staff finalizes their proposal to the Planning Commission.

Comments on the Discussion Draft are due by June 10, 2014. Staff is available to meet with neighborhood and business groups, or individuals by request (see contact information on the inside cover). Staff encourages the public to contact them with any questions or feedback they have in preparing their comments.

On June 23, the Planning Commission will hold a work session to review the public comments prior to the hearing scheduled for August 11. Input received from the public will inform the draft amendments for the August 11 Planning Commission hearing.

At the August 11 hearing, the Planning Commission will make a recommendation to the City Council. Work session and public hearing dates before the City Council will be scheduled for the fall 2014.



### III. DRAFT AMENDMENTS TO BUILDING DESIGN SECTION

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#### 50.06.001 BUILDING DESIGN

#### 7. CLEAR AND OBJECTIVE HOUSING STANDARDS FOR APPROVAL

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**a. Intent**

The following standards are intended to ensure that structures are designed and built to be complementary in appearance to adjacent structures of good design, are constructed with high-quality, durable materials, and have visually interesting and attractive building facades that respond to the individual identity of Lake Oswego’s commercial centers, employment districts, and neighborhoods. It is further intended that building, site, and landscape elements create a cohesive design that is contextually appropriate, maintains compatibility between land uses (including visual, sound, and other considerations), and is reasonably accessible to bicyclists, pedestrians, and users of other transportation modes.

**COMMENTARY**

The non-underlined text is an existing Building Design standard. It can be included in an Intent Statement with discretionary language. The standards below are proposed to implement the Intent Statement by requiring building articulation and façade elements that support good design. Structures that are reviewed under these standards are also subject to Code requirements for site development, setback and height requirements, landscaping and buffering, and when close to low-density residential zones have additional height limits.

**b. Applicability**

This standard is applicable in all zones except the FMU zone to:

- i. Development involving a structure for residential mixed-use, multi-family residential, or attached single-family (three or more units) residential development that creates new dwelling units; and
- ii. Is being developed under the Track 2 Clear and Objective Housing Standards review track.

## c. Design Standards

New buildings shall meet the following massing and compositional standards. The standards implement the [above] intent by requiring buildings to be articulated, avoiding large uninterrupted wall planes; have detailing that creates visual interest with appropriate proportions, rhythm, and scale; utilize attractive, high quality materials that are durable; and employ architectural styles that are contextually appropriate.

### i. **Standards for Multi-Family and Residential Mixed Use Structures**

#### **(1) Building Articulation**

Multi-family and residential mixed-use structures shall comply with the following standards. Less articulation may be permitted [through Track 1] where it is demonstrated that all structures of good design on adjacent lots employ less frequent or smaller changes in plane:

- (a) All building facades facing a street or public space shall be articulated such that a horizontal change in building plane measuring a minimum of two feet is provided a minimum of every 30 feet. A change in plane shall be provided through projecting bays, building recesses, upper level balconies (projecting or recessed), front porch or stoop projections, recessed building entries, and/or building stepbacks (see Figure 50.06.001-N). Ground floors providing commercial uses are exempt from this requirement, provided the ground floors comply with the standards for Building Facade Elements [in subsection iv.].
- (b) Building facades not fronting a street or public space shall be articulated such that a horizontal change in building plane measuring a minimum of two feet is provided a minimum of every 40 feet. A change in plane may be provided through projecting bays, building recesses, upper level balconies (projecting or recessed), front porch or stoop projections, recessed building entries, and/or building stepbacks (see Figure 50.06.001-N).
- (c) For structures providing with sloped roofs (pitch of 5:12, or greater) where the primary roof form sheds toward a front or street-side property line, the street-facing roof elevation, shall be articulated such that a gable, dormer, and/or offset in ridgeline is provided a minimum of once for every 30 feet of roofline, as viewed from adjacent street(s). The intent is that a gable peak, dormer, or offset in ridgeline is provided in a manner that corresponds with the changes in building plane required in LOC 50.06.001.5.c.ii (1). The distance between rooflines where articulation occurs shall be measured from the ridgeline or center point of the street-facing gable, dormer or offset, to the ridgeline or center point of the next

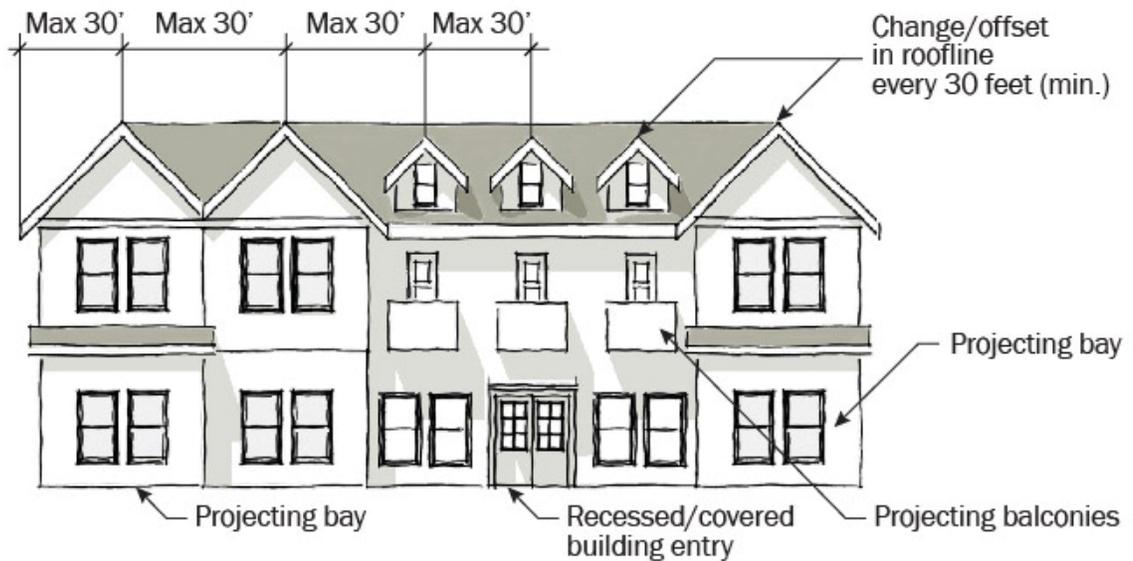
street-facing gable, dormer, or offset, or to the edge of the roof if that is the next closest break in the roofline (see Figure 50.06.001-N).

**COMMENTARY**

There was some discussion regarding whether roofline articulation should be required as viewed from facades adjacent to public open space and/or residential zones as well. It is recommended here that roofline articulation be required only as viewed from the street-facing building elevation in order to minimize cost impacts.

- (d)** Ground floor entries to individual residential units shall provide a covered front porch, or a front entry that is recessed a minimum of two feet behind the front building façade. Primary building entries (including shared entries to residential units) shall provide an awning or canopy, or be recessed a minimum of two feet behind the front building façade.

**Figure 50.06.001-N:  
Multi-Family and Residential Mixed Use  
Building Articulation**



## **(2) Building Façade Elements**

The front building elevation of multi-family and residential mixed use structures with multiple stories shall meet the following standards, which are intended to avoid large uninterrupted wall planes (see Figure 50.06.001-O) and provide a defined building base, middle, and top as follows (see Figure 50.06.001-O). Single story multi-family and residential mixed-use structures shall provide a defined building base and top:

**(a)** Base: The “base” of a multi-story building extends from the sidewalk or landscape grade, as applicable, to the bottom of the second story or the belt course/string course/cornice that separates the ground floor from the upper levels of the building. The base of a single-story building extends from the sidewalk or landscape grade, as applicable, to the ceiling. The building base shall be defined by providing all of the following elements:

**(i)** The street-facing ground floor shall be divided into distinct architectural bays measuring not more than 30 feet on center. An architectural bay is the zone between the outside edges of an engaged column, pilaster, post, or vertical wall area that provides a ground floor windowsill / base. Structures not providing a ground floor commercial component are exempt from this requirement.

**(ii)** A belt course/string course/cornice shall separate the ground floor from upper floors. Structures not providing a ground floor commercial component are exempt from this requirement.

**(iii)** All ground floor building entries shall be protected from the weather by structurally integrated awnings or canopies, or recessed behind the front building façade at least two feet. Additionally, for buildings providing ground floor commercial uses, weather protection shall be provided in the form of structurally integrated canopies, awnings or projecting roof or arcade along a minimum of 50% of the length of the street-facing ground floor facade. Awnings/canopies shall project at least four feet from the façade, and shall provide a minimum clearance of seven feet from the bottom of the awning/canopy to the sidewalk. Canvas awnings are not permitted.

**(iv)** Buildings providing ground floor commercial uses shall contain windows (“glazing”) with not less than 40% visual light transmittance along a minimum of 60% of the length of the street-facing ground floor building façade. Minimum glazing includes any glazed portions of doors.

**(b)** Middle: The “middle” of the building extends from the top of the belt course/string course/cornice at the top of the building base, to the ceiling of the highest building story. The middle of the building shall be defined by providing all of the following elements:

**(i)** A minimum of 75% of all upper story windows shall be vertically oriented, with a minimum vertical to horizontal dimension ratio of 1.5:1. This requirement applies to individual windows, as opposed to grouped window arrays as illustrated in Figure 50.06.001-O.

**(ii)** Upper building stories shall provide a minimum of 30% glazing on upper level building facades facing a street or public space. For the purposes of this standard, minimum glazing includes any glazed portions of doors.

**(iii)** In addition to the required “middle” elements outlined above, buildings shall provide one of the following elements:

**(A)** A change in exterior cladding or detailing materials between the ground floor and upper floors.

**(B)** Street-facing balconies, decks, or building step backs.

**(c)** Top: The “top” of the building extends from the ceiling of the uppermost floor to the highest vertical point on the roof of the building. The top of the building shall be defined as follows:

**(i)** All flat-roofed structures shall provide a projecting cornice or parapet measuring at least 12 inches high and projecting at least six inches.

#### **COMMENTARY**

Please note that the proposed Building Façade elements above do not apply to townhouse/rowhouse structures.

**Figure 50.06.001-O:  
Building Façade Elements**



- |                                      |   |  |
|--------------------------------------|---|--|
| <b>A</b> "Base"                      | <b>E</b> Building entrance is covered and/or recessed behind facade | <b>I</b> Minimum 60% windows for ground floor commercial |
| <b>B</b> "Middle"                    | <b>F</b> Architectural bay (maximum 30 ft. on center)               | <b>J</b> Minimum 30% vertically-oriented windows         |
| <b>C</b> "Top"                       | <b>G</b> Ground floor windowsill / base                             | <b>K</b> Projecting cornice / parapet                    |
| <b>D</b> Belt course / string course | <b>H</b> Column / pilaster / post                                   |  |

**ii. Standards for Townhouse/Rowhouse Structures**

**(1)** All building elevations facing a street or public space shall be articulated such that a horizontal change in building plane measuring a minimum of two feet is provided between abutting dwelling units (or units sharing a common wall). A change in plane may be provided through projecting bays, building recesses, upper level balconies (projecting or recessed), front porch or stoop projections, recessed building entries, and/or building stepbacks (see Figure 50.06.001-P).

**(2)** For structures providing sloped roofs, rooflines shall be articulated such that the front or street-facing elevation for each unit contains a minimum of one gable, dormer, and/or an offset in ridgeline. The intent is that gable peaks, dormers and offsets correspond with the changes in building plane required in LOC 50.06.001.7.c.ii (1). The distance between rooflines where articulation occurs shall be measured from the ridgeline or center point of the street-facing gable, dormer or offset, to the ridgeline or center point of the next street-facing gable, dormer, or offset, or to the edge of the roof if that is the next closest break in the roofline (see Figure 50.06.001-P).

- (3)** The front entry to each individual unit shall either provide a covered porch or stoop that is at least six feet in depth, or be recessed at least two feet into the front building elevation.

**Figure 50.06.001-O:**  
**Townhouse/Rowhouse**  
**Building Articulation**



ii. Where existing buildings are to remain on site, new development shall be designed to:

**(1)** Integrate the remaining buildings into the overall design; or

**(2)** Provide separate landscaping, remodeling or other treatment which establishes a distinct character and function for the remaining buildings.

Where a residential building is to remain, a lot meeting the zone requirements must be provided.

iii. Design bus shelters, drinking fountains, benches, mailboxes, etc., to be complementary in appearance to buildings.

iv. Design those elements listed below to be complementary in appearance to those buildings or structures upon which they are associated:

Awnings	Signs
Chimneys	Stairs
Decks and railings	Utility connections and meters

Doors	Vents
Downspouts	Windows
Foundations	Weather vanes, aerials, and other appendages
Lights	attached to the roof or projecting above the
Mailboxes	roofline
Mechanical equipment	

~~v. Design awnings, signs, and lights to define the first floor or retail cornice height.~~

~~vi. Use trees and other natural elements to help define building proportion relationships and to provide scale to the structure as a whole.~~

~~vii. Limit the variety of styles of building elements.~~

**COMMENTARY**

Elements in ii and iv are either part of the overall design, or cannot be designed (utility connections). Due to the many ways in which such elements could complement the structure design, it was difficult to develop a specific standard that was not overly limiting (such as requiring elements to be of the same color or material).

~~viii. Screen mechanical equipment from view, or place in locations where they will generally not be visible. Rooftop mechanical equipment shall be screened by either a parapet or architectural screen along the building facade that is at least as tall as the equipment, or by setting back the equipment from the roof edges at least 3 feet for each foot of height of the equipment. Solar or other renewable energy systems are exempt from this screening requirement provided they meet the standards of LOC 50.004.03.b.~~

**COMMENTARY**

The language above pertaining to rooftop equipment screening was borrowed from the Foothills Mixed Use Zone standards.

~~c. Buildings shall be designed and located to complement and preserve existing natural land forms, trees, shrubs and other natural vegetation.~~

~~i. Consider land forms and trees as design elements which must relate to building elevations to determine scale and proportion.~~

~~ii. Design foundations to match the scale of the building being supported. Berming, resiting, or sheathing the foundation structure with wall siding are examples of methods which accomplish this purpose.~~

~~iii. Use decks, railings, and stairs to relate a building to the contours of the land.~~

~~d. Building shall be designed and constructed to reduce noise impacts on interior occupied spaces and adjacent property.~~

~~i. Use solid barriers such as fences, berms, natural land forms and structures to reduce sound levels. The effectiveness of the barrier increases as barrier height increases and as it is moved closer to either the source or the receiver.~~

~~ii. Minimize the window surface on sides facing adverse sound sources, where possible.~~

~~iii. Mechanical equipment, including heat pumps and air conditioning equipment, shall meet the required setbacks of the zone and be located so that operating noise does not affect use of living areas such as bedrooms, outdoor decks or patio areas and adjacent property.~~

#### **COMMENTARY**

Mechanical equipment is already prohibited within the setback area.

Recommendation to leave interior space programming and layout to the discretion of site and building designers/developers, including use of windows on sides facing noise sources. Window type may be more important in minimizing noise trespass.

e. Buildings shall be designed and constructed with roof angles, overhangs, flashings, and gutters to direct water away from the structure.

f. Buildings shall incorporate features such as arcades, roofs, alcoves, porticos and awnings to protect pedestrians from the elements. These projections shall maintain a minimum vertical clearance of 13 ft. six in. where over fire lanes.

g. Building orientation shall be designed to encourage pedestrian access from public streets and make the street pedestrian friendly.

i. Applicability

(1) This subsection shall apply to:

(a) New construction, including removal of existing buildings and construction of new buildings within existing footprint; and

**(b)** Modifications of existing buildings that are not removed and reconstructed, and that expand the building footprint by more than 50% as measured cumulatively from the footprint existing on December 6, 2005.

**(2)** This subsection is not applicable to construction or modifications of structures within parks, or to non-habitable buildings.

**ii.** Building orientation shall include:

**(1)** Locating buildings within 30 ft. of a public street except where prevented by topographic constraints, existing natural resources, or where, in multi-building complexes, the configuration of the lot prevents locating all buildings within 30 ft. of a public street.

**(2)** Buildings located on sites with multiple frontages on public and/or transit streets shall provide at least one public entrance within 30 ft. of the transit street.

**(3)** Buildings located on sites adjacent to a transit street shall have at least one public entrance within 30 ft. of the transit street.

**(4)** Buildings that are within 30 ft. of a public street shall have a public entrance directly from the street.

**h. Rooftop Decks**

Rooftop decks are prohibited on the pitched portion of any roof exceeding 2% slope. Decks on flat roofs shall not extend above the coping of the roof.

## IV. DRAFT AMENDMENTS TO DOWNTOWN REDEVELOPMENT DESIGN DISTRICT SECTION

**Please note:** The figure numbers have not been updated in this section to reflect the creation of a new section 13 in the Downtown Redevelopment Design District for clear and objective housing standards.

### 50.05.004 DOWNTOWN REDEVELOPMENT DESIGN DISTRICT

#### 13. CLEAR AND OBJECTIVE HOUSING STANDARDS FOR APPROVAL

##### a. Purpose

The purpose of this section, the Downtown Redevelopment District Design Standard, is to guide the redevelopment of downtown Lake Oswego in a manner that creates a feeling of vitality and sense of place in order to attract private investment and redevelopment of the area and create a community center that reflects and enhances the character of the City of Lake Oswego.

##### b. Applicability

Development within the Downtown Redevelopment District (shown in Figure 50.05.004-A) is subject to the requirements of this section when it meets the following:

- i. Involves a structure for residential mixed-use, multi-family residential, or attached single-family (three or more units) housing that creates new dwelling units; and
- ii. Is being developed under the optional Track 2 Clear and Objective Housing Standards review track.

**Figure 50.05.004-A: Downtown Redevelopment District**



~~a. Construction of a new building;~~

~~b. Substantial remodeling of an existing building. For the purposes of this section "substantial remodeling" means:~~

~~i. Exterior remodeling that changes the appearance of more than 50% of any building elevation;  
or~~

~~ii. A restaurant building expansion of more than 100 sq. ft. or any other expansion of a building of more than 300 ft.~~

~~Exception: expansion is solely designed and constructed:~~

~~(1) To provide for accessibility to the disabled,~~

~~(2) To provide for energy conservation (e.g., addition of an entry vestibule),~~

~~(3) To provide for screened recycling or trash storage, or~~

~~(4) To relocate or screen visible exterior mechanical equipment so that such equipment is no longer visible;~~

~~c. Any development funded or partially funded utilizing a financial incentive granted, provided by or obtained through the authority of the City of Lake Oswego or LORA. As used in this section, a "financial incentive" includes a grant, fee waiver, revolving loan, tax abatement, property exchange or similar financial incentive provided by or secured through the City or LORA.~~

### **c. Relationship to Other Development Standards**

i. LOC 50.06.001.7.c.i and ii, Standards for Multi-Family and Residential Mixed Use Structures, and Standards for Townhouse/Rowhouse Structures shall apply where required by this Code section. All other standards in LOC 50.05.001.7 are superseded by the standards in this overlay district. LOC ~~50.05.004.5~~ to ~~50.05.004.7~~ supersede LOC ~~50.06.001.5~~, Commercial, Industrial, and Multi-Family Development Standards for Approval, in its entirety for developments subject to this overlay district.

ii. LOC 50.05.004.8 shall apply in addition to the requirements of LOC 50.06.004.1, Landscaping, Screening and Buffering, but exceptions to the requirements of LOC 50.06.004.1 may be granted as provided in LOC 50.08.005, Downtown Redevelopment District Exceptions to Standards.

**e.iii** The parking standards (LOC [50.06.002](#)) apply in full, but the requirements may be modified as provided in LOC [50.05.004.9](#), and exceptions may be granted as provided in LOC [50.08.005](#), Downtown Redevelopment District Exceptions to Standards.

**d.iv** LOC [50.05.004.12](#) shall apply in addition to street standards contained in the remainder of this Code.

**e.v** In the event of conflict between this overlay section and any other provision of this Code, the provisions in this section shall apply.

#### **d. Definition of Village Character**

As used in this section, "village character" means a community of small-scale structures that appears and operates like a traditional small town. A village is typically composed of an assembly of smaller mixed used structures often centered on a square or other public space or gathering area, such as a body of water, a transportation route or a landmark building. Adherence to village character is not intended to require an historical reproduction of a turn of the century small town, but rather to encourage the development of a sophisticated small city that is pedestrian friendly, creates a sense of community and attracts people to the downtown in the same manner and using similar design concepts as historic small towns and neighborhood centers.

#### **e. Building Siting and Massing**

~~The following Building siting and massing requirements are intended to help~~ shall create a village character by requirements are intended to help ensuring that structures are designed to a human scale that is appropriate to the size and scale of Downtown Lake Oswego, and that buildings are sited in a way that maximizes pedestrian activity and preserves and/or creates strong building edges at street corners. ~~compliance with the following requirements:~~

##### **i. Complex Massing Required**

**(1)** New buildings shall comply with the Building Articulation requirements in LOC 50.06.001.7.c.i and ii. ~~use the siting and massing characteristics of the Lake Oswego Style such as complex massing and asymmetrical composition. See 50.11.001, Appendix A — Lake Oswego Style.~~

**(2)** Significant breaks shall be created along building facades at least once every 150 linear feet by either setting back the façade at least 20 feet or breaking the building into separate structures.

#### **COMMENTARY**

The significant break is proposed to reflect existing patterns downtown. For example, on Lake View Village, the façade from the north end of Peet's Coffee to the south end of Zeppo is approximately 150 feet.

## **ii. Pedestrian Oriented Siting**

New ~~commercial~~ buildings with street-facing ground floor commercial uses shall be sited at the property line, with the exception of façade setbacks provided to comply with building articulation and landscaping requirements. ~~in order to maximize the amount of building frontage abutting pedestrian ways.~~ Buildings with ground floor residential uses shall be set back to comply with the four foot minimum landscaped buffer required by the Landscaping and Site Design Requirements of this section.

## **iii. Roof Forms**

New buildings shall comply with the roof style and roof pitch requirements associated with the chosen Lake Oswego architectural style (insert code reference). ~~use gable or hipped roof forms.~~ Flat roofed building shall only be allowed pursuant to LOC [50.08.005](#).

## **iv. Number of Stories**

New buildings shall be at least two stories tall, and new and remodeled building shall be no greater than three stories tall, except:

### **(1) Fourth Story**

A fourth story may be permitted subject the following:

- (a)** The fourth story is residential and is contained within a gabled or hipped roof;
- (b)** The site is sloping and the structure has three or fewer stories on the uphill side;
- (c)** The fourth story is significantly stepped back from the building plane created by the lower stories; or
- (d)** Fourth story design elements are used to break up the mass of a building, create visual interest and variety, hide mechanical equipment, define an entry or define a particular building's function. Examples of such design elements include dormers, towers, ~~turrets~~, clerestories, and similar features.

#### **COMMENTARY**

The Advisory Committee and Planning Commission did not favor the use of turrets as part of building design to accentuate corners, and this change is proposed for consistency.

**(2). Single Story**

Single story construction may be permitted subject to the following:

- (1) It is limited to a small portion of a taller structure, such as an entry area, canopy over an outdoor restaurant, building ends or wings which relate to open space or as a step down to an adjacent one story viable existing structure; or
- (2) When a minimum height of 20 ft. is maintained at the right-of-way or street side building edge.

**v. Height Limit**

No building shall be taller than 60 ft. in height. No flat roofed building shall be taller than 41 ft. in height. Height shall be measured pursuant to this Code.

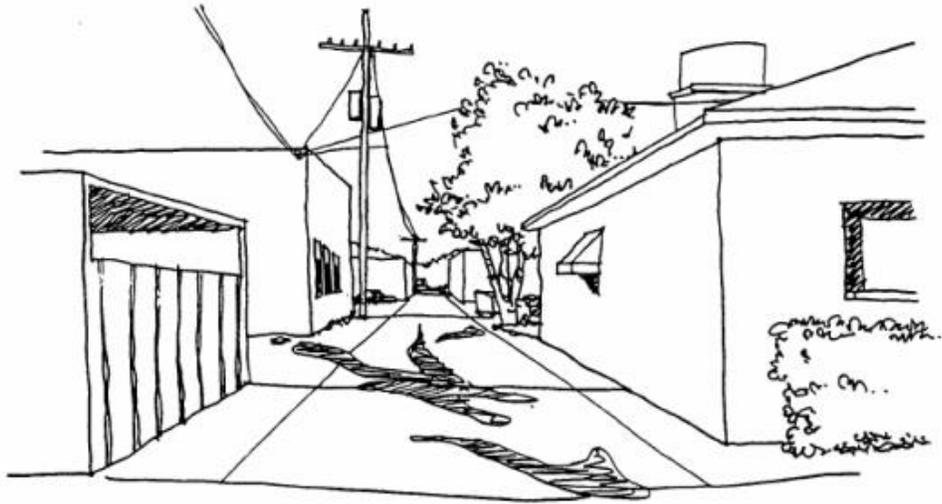
**vi. Entrances**

When a new building is constructed or an existing building is substantially remodeled, the primary building entrances shall be oriented to pedestrian ways along streets to encourage increased pedestrian density on existing streets, sidewalks and other public ways. Secondary building entrances or tenant space shall be required along alleys to take advantage of and enhance the intimate scale of the alley space, as illustrated in Figure [50.05.004-B: Alley with Entrances](#) and Figure [50.05.004-C: Alley without Entrances](#), below.

**Figure 50.05.004-B: Alley with Entrances**



Figure 50.05.004-C: Alley without Entrances



**vii. Street Corners**

- i. ~~New structures shall be located to preserve or create strong building edges at street corners. Structures may "cut the corner" to create a building entry or to provide pedestrian space but shall use building design elements to create a structured corner as illustrated in Figure 50.05.004-D: Building Design at Street Corners, below. New multi-family and mixed use residential structures located at the corner of two streets shall locate the primary building entry at or within 20 feet of the corner of the building. In addition, these buildings shall address the corner through one of the following methods, as illustrated in Figure 50.05.004-F:~~
  - (1) Set back the corner of the building, such that it creates a plaza or forecourt space in front of the building entrance;
  - (2) Provide a chamfered (or 45-degree "cut") corner, or a rounded building corner;
  - (3) Provide increased building height (and associated roof forms) at or within 20 feet of the corner of the building.
  - (4) Provide special paving materials within the sidewalk at the corner.
  
- ii. ~~Be designed to complement and be compatible with other corner buildings at the same intersection by~~ Where existing buildings at the same intersection as the proposed structure have corner treatments as illustrated in Figure 50.05.004-F: Building Design at Street Corners, ~~repeating or echoing the same pattern of corner treatment~~ from one or more existing buildings located at the same intersection as the proposed structure. Corner treatments shall be repeated no more than twice at an intersection. ~~by creating similar focal points such as entries, towers, material or window elements, signage, etc.~~

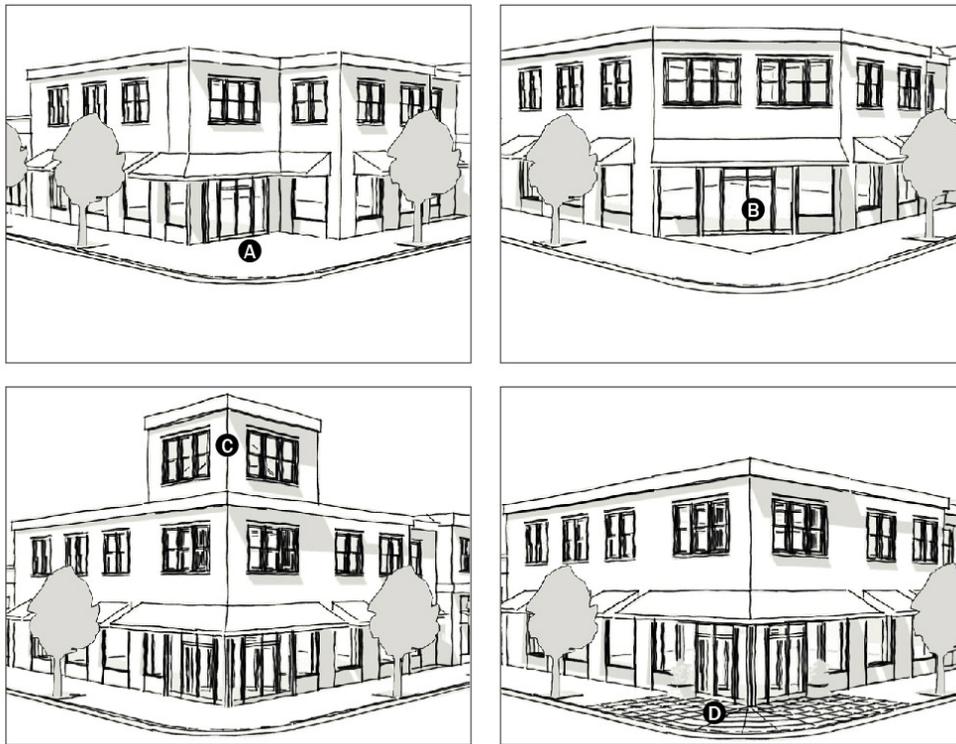
ii. When buildings front both a "Street" and A or B Avenue, reinforce building corners by repeating at least two of the following building facade elements: such as signs, ground floor awnings, and ground floor window patterns, and/or ground and upper floor material wall treatments on both "Avenue" and "Street" sides.

iv. If the building "cuts" the corner at ground level, anchor the corner with a column supporting the upper levels or roof or with a free-standing column or obelisk. The area of the "cut" corner shall be equal to or greater than the public area in the abutting sidewalk as shown in LOC [50.11.001](#), Appendix A – Lake Oswego Style, Figure 2.

**COMMENTARY**

ii-iv were moved from the "Corner Buildings" standard, located under Building Design.

**Figure 50.05.004-D: Building Design at Street Corners**



- A** Forecourt / plaza
- B** Chamfered corner
- C** Increased building height
- D** Special paving material

**COMMENTARY**

This is a new replacement figure that illustrates the Street Corners standards. Staff has noted that illustrations with peaked roofs would be preferable and will work on those changes.

## f. Building Design

The following building design requirements ~~elements shall be designed to~~ are intended to create a village character through the use of building materials, ground floor design treatments, and other building design elements ~~through compliance with the following requirements:~~

### i. Lake Oswego Style Required

- (1) Intent: The following standards are intended ~~Buildings shall be designed using building design elements of the Lake Oswego Style~~ to create distinctive buildings which have richly textured, visually engaging facades. ~~See LOC 50.11.001, Appendix A – Lake Oswego Style.~~
- (2) New structures in the Downtown Redevelopment Design District shall be designed in accordance with one of the following traditional architectural styles: Arts and Crafts, English Tudor, or Oregon Rustic style. Structures shall provide all of the Required Design Elements outlined below for the chosen architectural style. Photo examples for each style are provided for reference in LOC 50.11.001: Appendix A.

#### COMMENTARY

For the Clear and Objective Review track, should buildings be limited to one of the three architectural styles per building, per development, or be allowed to combine styles on a single building and perhaps limit each major building section to one style?

- (3) Arts and Crafts Style Required Design Elements: Structures built according to the Arts and Crafts style shall provide all of the following design elements:

(a) Massing/Composition:

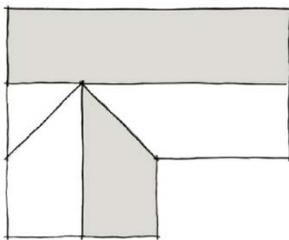
- (i) A minimum of one projecting bay, measuring at least two feet deep, with associated front gable roof, is required along each street-facing building façade (see Figure 50.11.001-A).
- (ii) Asymmetrical composition required. This requirement will be met when projecting bays and associated gables are located along the street-facing building façade such that an asymmetrical façade is created (see Figure 50.11.001-B).
- (iii) Multi-Family Residential and Mixed Use Structures: See LOC 50.06.001.7.c.i and ii for building articulation requirements.

#### COMMENTARY

Instead of repeating standards for building articulation in this section, the Building Design standards are cross-referenced as requirements in each of the architectural styles.

- (b) Roof Style: Gable roof.
- (c) Roof Pitch: Minimum pitch of 10:12. Dormers are exempt from this requirement.
- (d) Exterior Building Materials: Stucco, shingle, brick, stone, horizontal wood or wood/fiber-based horizontal siding (or a combination thereof).
- (e) Windows: Casement and sash windows with multi-paned glazing. Picture windows are permitted on the ground floor only. "Snap on," surface-applied window mullions are prohibited (simulated divided light windows wherein the mullion is integral to the window assembly are permitted).

**Figure 50.11.001-A:**  
**Arts and Crafts Style Massing/Composition**



Rectangular plan with minimum of one projecting bay

**Figure 50.11.001-B:**  
**Asymmetrical Composition Required**



Asymmetrical composition

**Additional Design Elements:** In addition to the Required Design Elements, above, structures built according to the Arts and Crafts style in the Downtown Redevelopment Design District are encouraged to provide some or all of the following design elements:

- (1) Roof Style:
  - (a) Dormers
  - (b) Intersecting or multiple gable dormers or roof forms.
- (2) Materials: Simplified English vernacular elements such as simulated half-timbered walls.
- (3) Windows:
  - (a) True divided light, multi-paned windows, in which individual sheets of glazing are provided between mullions (as opposed to simulated divided lights).
  - (b) Segmental and round arched openings used for accent.
- (4) Molding: Minimum 3.5 inch wide trim on doors and windows.
- (5) Other Elements: Prominent stone or masonry chimneys.

#### **(4) English Tudor Style Design Elements**

- (a) **Required Elements.** Structures built according to the English Tudor style in the Downtown Redevelopment Design District shall provide the following design elements:
- (i) Massing/Composition: Multi-Family Residential and Mixed Use Structures: See LOC 50.06.001.7.c.i and ii for building articulation requirements.
  - (ii) Roof Style: Gable roof.
  - (iii) Roof Pitch: Minimum pitch of 10:12. Dormers are exempt from this requirement.
  - (iv) Exterior Building Materials: Brick, stucco, and/or stone.
  - (v) Windows: Multi-paned picture, bay, oriel, casement, and/or dormer windows. “Snap on,” surface-applied window mullions are prohibited (simulated divided light windows wherein the mullion is integral to the window assembly are permitted).
- (b) **Additional Design Elements:** In addition to the Required Design Elements, above, residential and residential mixed-use structures built according to the English Tudor style in the Downtown Redevelopment Design District are encouraged to consider providing some or all of the following design elements:
- (a) Roof Style: Double gable roof forms and/or dormers.
  - (b) Windows:
    - (i) True divided light, multi-paned windows in which individual sheets of glazing are provided between mullions (as opposed to simulated divided lights).
    - (ii) Leaded glass windows.
  - (c) Building Materials:
    - (i) Complex brick courses. Acceptable brick courses include running bond, common bond, Flemish, and English bond patterns.
    - (ii) Imitation half-timbering
  - (d) Molding: Minimum 3.5 inch wide trim on doors and windows. Trim should be of a contrasting color to the adjacent building wall. Brick buildings may provide contrasting stone moldings. Decorative trims are also encouraged.
  - (e) Other Elements:
    - (i) Prominent stone or masonry chimneys.

- (ii) Tudor-arched (as illustrated in the 1650 North Shore example) or round-arched openings, particularly in the entrance door.

**(5) Oregon Rustic Style Design Elements:**

- (a) **Required Design Elements:** Structures built according to the Oregon Rustic style in the Downtown Redevelopment Design District shall provide the following design elements:

- (i) Massing/Composition:

- A minimum of one projecting bay, measuring at least 2 feet deep, with associated roof form, is required along the front building façade (see Figure 50.11.001-C).
- Asymmetrical composition required. This requirement will be met when projecting bays and associated gables are located along the front building façade such that an asymmetrical front façade is created (see Figure 50.11.001-D).
- Multi-family residential and mixed use Structures: See LOC 50.06.001.5.c.ii and iii for building articulation requirements.

- (ii) Roof Style: Hipped and/or gable roofs (may be used in combination).

- (iii) Roof Pitch: Minimum pitch of 5:12.

- (iv) Eaves: Minimum eaves of 18 inches.

- (v) Exterior Building Materials: Wood logs (unpeeled or half rounded) applied as siding, horizontal lap siding, board and batten, shingled siding, or combinations thereof. Stone (including river boulders) may be used in foundations or as siding for first-floor levels.

- (vi) Windows: Multi-paned windows required. "Snap on," surface-applied window mullions are prohibited (simulated divided light windows wherein the mullion is integral to the window assembly are permitted).

- (b) **Additional Design Elements:** In addition to the Required Design Elements, above, residential and residential mixed-use structures built according to the Oregon Rustic style in the Downtown Redevelopment Design District are encouraged to consider providing some or all of the following design elements:

- (i) Windows:

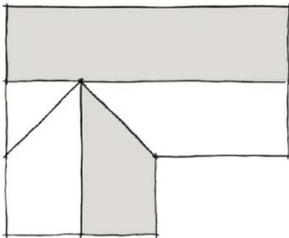
- True divided light, multi-paned windows in which individual sheets of glazing are provided between mullions (as opposed to simulated divided lights).
- Functional shutters.

(ii) Molding: Minimum 3.5 inch wide trim on doors and windows. Molding should be simple, square cut, or single-angle cut trim. Carved accents such as newel posts, exterior banisters, railing, etc. are also encouraged.

(iii) Building Materials: Natural or clear wood finishes (instead of opaque paint)

(iv) Other Elements: Prominent stone chimney.

**Figure 50.11.001-C:**  
**Oregon Rustic Style Massing/Composition**



Rectangular plan with minimum of one projecting bay

**Figure 50.11.001-D:**  
**Asymmetrical Composition Required**



Asymmetrical composition

## **ii. Storefront Appearance Required**

Buildings fronting on streets or alleys designed for pedestrian use shall create a storefront appearance on the ground floor. This ~~may~~ shall be accomplished by complying with LOC 50.06.001.7.c.ii, Building Façade Elements. ~~by changing buildings planes, materials or window patterns, or by creating a break in awning or canopy construction at intervals of about 25 ft. as illustrated in Figure 50.05.004-E: Break in Awning or Canopy Construction.~~

### **Figure 50.05.004-E: Break in Awning or Canopy Construction**

In addition, such design shall maximize the opportunity for window shopping through compliance with the following requirements:

- i. A minimum of 80% (linear measurement) of the exterior ground floor abutting pedestrian ways shall be designed as storefront with display windows and entry features.
- ii. The bottom edge of windows along pedestrian ways shall be constructed no more than 30 in. above the abutting walkway surface and shall be no closer than 12 in. above the walkway surface.
- iii. Sufficient interior or soffit lighting to allow night-time window shopping shall be provided.

### **iii. Materials**

#### **(1) Ground Floor**

~~Multi-family and residential mixed-use structures Buildings shall use masonry as the predominant building material for walls on the~~ on a minimum of 75% (linear measurement) of any street-facing ground floor building façade. Ground floor masonry materials shall be selected from the list of exterior building materials provided within the required or additional design elements for each of the Lake Oswego styles outlined in this Code section. "Masonry" also includes fabricated bricks, blocks, stucco and glass. ~~The design of these materials shall create an historic or vernacular Lake Oswego Style appearance as shown in LOC 50.11.001, Appendix A – Lake Oswego Style.~~

#### **(2) Upper Stories**

~~Multi-family and residential mixed-use structures Buildings shall use~~ both wood and glass on a minimum of 75% (linear measurement) of each upper story façade. as the predominant building materials for upper stories. Upper floor building materials shall be selected from the list of exterior building materials provided within the required and/or additional design elements for each of the Lake Oswego styles (see LOC 50.11.001, Appendix A). For the purposes of this standard, "wood" includes any wood or wood/cement board material outlined within the Lake Oswego styles in LOC 50.11.001, Appendix A. These materials are intended to soften the appearance of a building that sits on a heavier appearing masonry/glass base and thereby effectively creating a mixed use village appearance. ~~Wood siding or cedar shingles may be used.~~

#### **(3) Roof**

Roofs shall use the following roofing materials:

- (1)** Slate, tile, shakes or wood shingles, or synthetic materials (e.g., concrete, pressed wood products, metal or other materials) that are designed to and do appear to be slate, tile, shake, or wood shingles.
- (2)** Copper or zinc roofing materials in styles representative of period architecture in the Lake Oswego Style. Metal roofs other than copper and zinc shall only be allowed in subdued colors and on small roof sections, not as a whole roof application.
- (3)** If new or substantially remodeled building utilizes a flat roof, materials that will not cause roof repairs (patching) to be readily visible.

#### **(4) Prohibited Materials**

The following exterior building materials or finishes are prohibited:

- (1)** Plastic, except when used to replicate old styles (e.g., vinyl clad windows, polyurethane

moldings, plastic columns, etc.);

- (2) Metal or vinyl siding;
- (3) Mirrored glass;
- (4) T-111 Type plywood;
- (5) Corrugated metal or fiberglass;
- (6) Standard form concrete block (not including split faced, colored or other block designs that mimic stone, brick or other similar masonry); and
- (7) Backlit fabrics, except that awning signs may be backlit fabrics for individual letters or logos.

#### **(5) Ground Floor Design**

(a) Ground Floor Cornice: Multi-family and mixed-use residential structures shall visually distinguish the ground floor from upper floors through at least one of the following methods: ~~Buildings shall have a strong ground floor cornice-d~~

- (i) ~~Provide a cornice designed to separating~~ the ground floor functions and materials from the upper story or stories. To the extent practicable, ground floor cornice lines shall ~~and~~ ~~to~~ provide continuity with cornice placement on abutting buildings as shown in Figure [50.05.004-F](#): Ground Floor Design.

**Figure 50.05.004-F: Ground Floor Design**



(ii) Provide a change in building material between the ground floor and upper floors.

Methods for compliance with this requirement include but are not limited to:

(b) Ground floor storefront design: Mixed-use and commercial structures providing ground floor commercial uses shall comply with the following requirements:

- (i) Use of the same or similar building materials and/or colors from storefront to storefront within a single building or building to building; or
- (ii) Painting the wood elements in the first floor storefront areas white, black, dark brown, dark green or gray-blue. This color range is not intended to be an exclusive list, but is recommended to create compatibility and design strength at the ground floor storefront level while encouraging diversity with multi-tenant buildings and in large lot (whole block) developments.

### **(6) Molding Design**

Moldings, window casings and other trim elements shall be ~~designed in a dimension and character reflecting provided as required by the chosen the Lake Oswego Style.~~ Larger dimensions than the stated minimum molding widths may be used to exaggerate or illustrate a creative design concept or to match the scale of the new building. ~~Moldings shall match or complement the detailing of adjacent buildings that comply with this section.~~

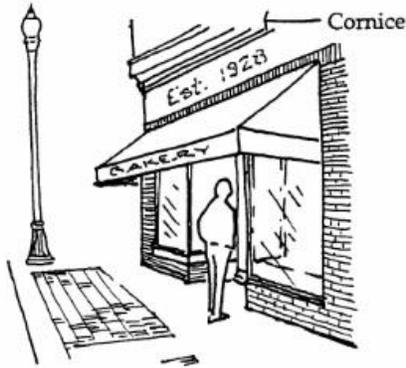
### **(7) Enclosure or Screening of Mechanical Equipment**

Mechanical equipment shall be mounted within gable or hip roof attics where possible. Rooftop mechanical equipment should not be visible from any sidewalk along public streets adjacent to the proposed development. To accomplish this, rooftop equipment shall be screened by either a parapet or architectural that is at least as tall as the equipment, or setting back the equipment from the roof edges sufficient to restrict views of the equipment, and at a minimum of 3 feet for each foot of height of the equipment. Solar or other renewable energy systems are exempt from this screening requirement provided they meet the requirements in LOC 50.04.003.b. Roof mounted mechanical equipment on flat roofed structures shall be screened by parapet walls to the maximum degree possible. Site located mechanical equipment shall be installed in below grade vaults where possible. Other building mounted mechanical equipment shall be screened from view to the maximum degree possible.

### **(8) Awnings and Canopies for Weather Protection**

Buildings with more than one story shall provide awnings or canopies extending six ft. from window walls. Awnings shall be shed type with opened or closed ends as shown in Figure **50.05.004-G: Awning Design and Brick Pavement Panel**. Curved awnings shall not be allowed. Awnings may have a front valance.

Figure 50.05.004-G: Awning Design and Brick Pavement Panel



**(9) Outdoor Relationships**

Buildings shall be designed to open up to outdoor seating and display areas that are intended to be accessory to an indoor use, such as a restaurant or cafe.

**(10) Mixed Use Residential**

Mixed use buildings with a residential component shall define the residential portion of the structure through the use of design elements such as by providing one of the following elements above the second story as shown in Figure 50.05.004-F or Figure 50.05.004-H: decks, or balconies, landscaping, chimneys, dormers, gable or hipped roofs<sup>1</sup> or building step backs above the second story to provide upper story deck areas as shown in Figure 50.05.004-F: Ground Floor Design and: Mixed Use Residential. Brick or stone masonry should shall be used for chimney construction.

Figure 50.05.004-H: Mixed Use Residential



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<sup>1</sup> Already required by all three Lake Oswego styles.

## ~~j. Corner Buildings~~

### (11) Alley Space

Alley space shall be designed to minimize service functions, to screen trash/storage areas and to enhance pedestrian/patron use. Outdoor cafe seating, landscaping, signage, lighting and display features shall be included in alley design where feasible.

### g. View Protection

The following standards are intended to help ensure that new development shall preserve and enhance any available views of Mount Hood and Lakewood Bay by compliance with the following requirements. These regulations are not intended as a guarantee that a view will be preserved or created, only to require special and significant efforts to maintain and provide views.

- a. Street trees on "A" Avenue shall be selected and located to preserve views of Mt. Hood.
- b. New structures shall be designed and located to preserve and enhance views of Lakewood Bay from the south end of Block 138 and from the Lakewood Bay bluff.
- c. Restaurants, outdoor cafes, housing and hotels shall be oriented to available views, especially views of Lakewood Bay, where feasible. Public gathering places shall be designed to maximize any available toward Lakewood Bay.
- d. Staff may require site sections, photographs, view diagrams, survey spot elevations, view easements and other similar tools in order to ensure compliance with the requirements of this section.

### h. Landscaping and Site Design Requirements

i. **Purpose.** The following standards are intended to ensure that landscaping and site design elements help create a "village character" by providing high-quality landscape elements. Landscaping shall ~~shall~~ should be designed to enhance building design, enhance public views and spaces, define the street, provide buffers (screening) and transitions, and provide for a balance between shade and solar access.

#### ii. Amount of Landscaping Required.

(1) Landscaping on the site, visible from the ground, shall comply with the following amounts:

- (i) Residential and live/work: 15% of the lot.
- (ii) Nonresidential development: 10% of the lot.

- (2) Vines on espaliers shall be placed along at least one building wall.
- (3) In addition to the landscaping required in subsection 8.b.i of this section, landscaping for screening and buffering shall be required:
  - (i) To screen public or private utility and storage areas and parking lots.
  - (ii) As a separation between dissimilar uses.

**iii. Style and Design.**

(1) Landscaping and courtyards shall be coordinated with the building design so that landscaping and courtyard features complements the building design. This shall be accomplished by Landscape design shall incorporating the same materials and/or colors into landscape and courtyard elements as used within the building, or by incorporating accent materials and/or colors from the building. This requirement applies to landscape and courtyard elements such as iron/steel plant balconies, metal fences, railing and gates, masonry walls, paving, window boxes, hanging plant brackets. ~~and other similar features that complement the character of the building design.~~

(2) Landscaping may be placed in pots, raised planters, or flower boxes.

~~ii. Courtyards visible from the street or sidewalk shall be used to break up the scale and proportion of structures. (See LOC [50.05.004.6](#), Building Design.) Courtyards shall contain landscaping or features that complement the design of the building and the surrounding structures and landscaping. Courtyard amenities, including art or fountains, may be required as part of the design by the reviewing authority.~~

**COMMENTARY**

Courtyard section ii above has been combined with landscaping standards in i. Code Concepts for removing discretionary language in LOC 50.05.004.6 suggest requiring tri-partite building facades to help break up building mass. Unless there is support for requiring courtyards/forecourts in every building, this language should be stricken.

~~iii. Landscaping design shall be compatible with abutting or adjacent properties and shall consider the relationship of plantings, site furnishings and materials on those properties and the proposed site.~~

**COMMENTARY**

Proposed for deletion because it would be difficult to revise into a clear and objective standard.

**iv. Street Trees.** Street trees shall be planted in conformance with the Street Tree List in the Lake

Oswego Plant List, and City/LORA specifications for spacing, planting, root barriers, irrigation, lighting (uplighting and holiday lighting), etc.

**v. Ground Floor Residential Use.** Residential uses at the ground floor shall be separated from sidewalks by a four foot minimum landscaped buffer (see LOC [50.05.004.6.d](#)). The landscape buffer may include stairs, railings, walls, pilaster columns or other similar features.

**vi. Green Landscaping.**

**(1)** Landscape design shall incorporate the following environmentally friendly design and planting concepts to the maximum degree possible:

**(i)** Utilize plant materials that are best suited for the areas of the site, e.g., water, soil, sun and shade.

**(ii)** Use plant materials, soils, and soil amendments which minimize the use of fertilizers, particularly ones containing phosphate.

**(iii)** Use drought tolerant plants, when possible, to minimize water usage.

**(iv)** Incorporate native plantings and utilize plant materials which are grown in the Pacific Northwest.

**(v)** Use plant materials that are pest and disease resistant to minimize or avoid the use of pesticides and fungicides.

**(vi)** Irrigation shall use methods and watering schedules which minimize water consumption. These may include drip, micro-spray or bubbler emitters for trees and shrub beds. Irrigation systems shall be designed with solar powered controllers when practicable.

**(vii)** Design tree and vine placement to provide shade on ground and wall surfaces during warm months.

**(2)** The landscape plans shall include instructions for the continued maintenance of the landscaping, which shall include the following:

**(1)** When necessary, utilize soil amendments and soil mulches to preserve moisture content.

**(ii)** Irrigation shall avoid systems which throw water into the air especially during high wind or high temperature periods. Watering should occur between 6:00 p.m. and 9:00 a.m.

**(iii)** Plant during seasons when plants will be less stressed and requires less initial watering.

(iv) Plant trees "bare root" when possible.

(v) When possible, plant turf by seed (not sod), to promote deep root development which will make the turf more drought tolerant.

**v. Street Furniture and Lighting**

Buildings shall incorporate street furniture and lighting within the public right-of-way and in private areas open to public pedestrian activity. Street furniture and lighting shall comply with designs approved by the City of Lake Oswego as shown in Figure [50.05.004-I](#): Street Furniture and Lighting.

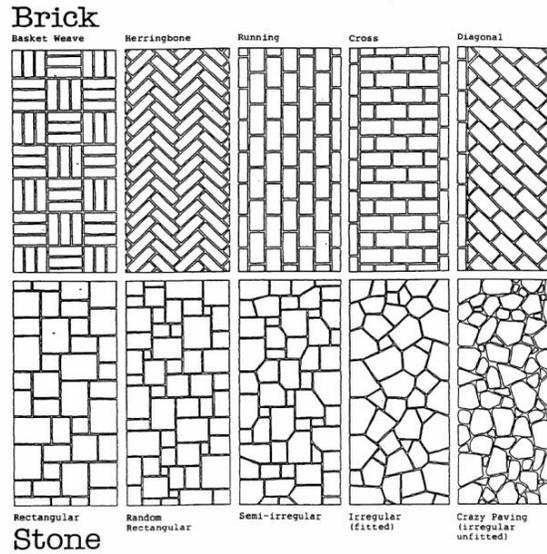
**Figure 50.05.004-I: Street Furniture and Lighting**



**vi. Brick Paving**

Where a development is proposed abutting to a sidewalk or intersection, brick paving shall be required for sidewalk surface detail panels on numbered streets and at primary building entrances as shown in the paving detail diagrams. Brick pavers shall be used to provide color and texture on north-south streets. The use of brick, cobbles or flagstones as pavement for other pedestrian ways, courtyards or parking lots is encouraged, but is not required. See Figure [50.05.004-J](#): Paving Materials and Design, below.

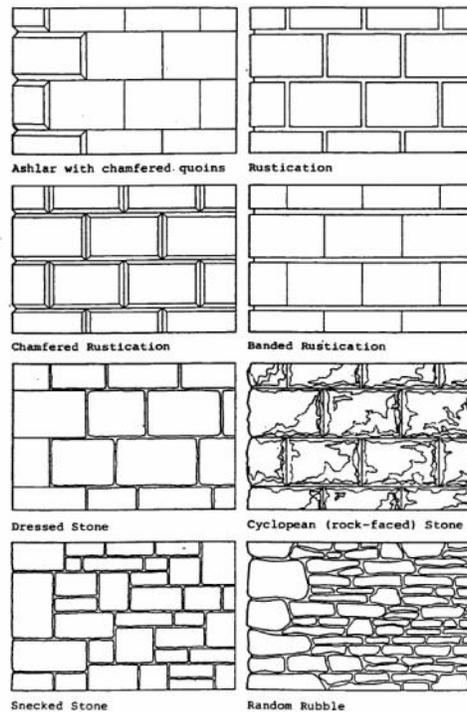
**Figure 50.05.004-J: Paving Materials and Design**



**vii. Walls**

New and substantially remodeled buildings shall use natural quarried stone (preferably Columbia River Basalt) for all retaining or freestanding walls, courtyard walls or similar landscape applications as illustrated in Figure [50.05.004-K: Wall Materials and Design](#).

**Figure 50.05.004-K: Wall Materials and Design**



### **viii. Gates and Hangers**

Decorative iron gates and hangers for signs, flags and hanging baskets shall be required as part of the landscape plan and shall be designed in the Arts and Crafts style.

### **ix. Hanging Baskets**

Any required landscaping shall include seasonal hanging flower baskets placed within parking lots and along streets and sidewalks.

### **x. Art**

The site design for a new or substantially remodeled existing building shall include locations for placing public or private art.

### **xi. Protecting Pedestrians**

In areas of potential vehicle/pedestrian conflict, City approved street furniture or bollards (see Figure [50.05.004-1](#): Street Furniture and Lighting) shall be used to help create a "protected zone" for the pedestrian.

### **xii. Undergrounding of Utilities**

Overhead utilities shall be placed underground, unless the City Engineer determines that undergrounding is not practical based upon site conditions.

## **i. PARKING REQUIREMENTS**

Parking shall be designed to provide adequate, but not excessive, space while preserving and enhancing the village character of Lake Oswego, through compliance with the following criteria:

### **i. Number of Spaces**

New uses shall provide the number of parking spaces required under the City of Lake Oswego Parking Standards (LOC [50.06.002](#)), modified as follows:

- (1)** Because of the layout of downtown Lake Oswego and the ready availability of on-street parking and transit, the minimum parking requirement shall be 0.75 of the total required for each use pursuant to Table [50.06.002-1](#), Minimum Off-Street Parking Space Requirements.
- (2)** Retail uses within 1,000 ft. of 100 or more residential units may further reduce their total parking requirements to 0.9 of the total spaces required after all other adjustments are made pursuant this section.
- (3)** Within the East End General Commercial zone only, only the parking modifiers permitted by

the Downtown Redevelopment District Design Standards, and Development Size, or the Parking Study provision are permissible for reduction options.

**(4)** New uses within existing buildings may demonstrate compliance with the parking requirement through the use of existing spaces on adjacent property if the applicant complies with all of the following criteria:

**(a)** The applicant demonstrates that the proposed use has substantially different peak period parking needs than uses served by the parking spaces on the adjacent property. Evidence necessary to support such demonstration may include a by-the-hour parking study, patron use evidence from register tapes, or written employees transportation and parking policies.

**(b)** The applicant demonstrates that he or she has permission of the owner of the adjacent property to utilize his or her property for parking, either by an easement or a parking agreement or leases that will last for the life of the use.

**(c)** The location of the adjacent property complies with LOC [50.05.004.9.b](#).

**(5)** High turnover eating or drinking establishments such as coffee shops, ice cream parlors and "take-and-bake" food services may vary from the parking requirements for restaurants by providing evidence that demonstrates the short term nature of their employee and patron parking needs. In no case, however, shall parking be reduced below the number of spaces that would be required for an equal size retail store.

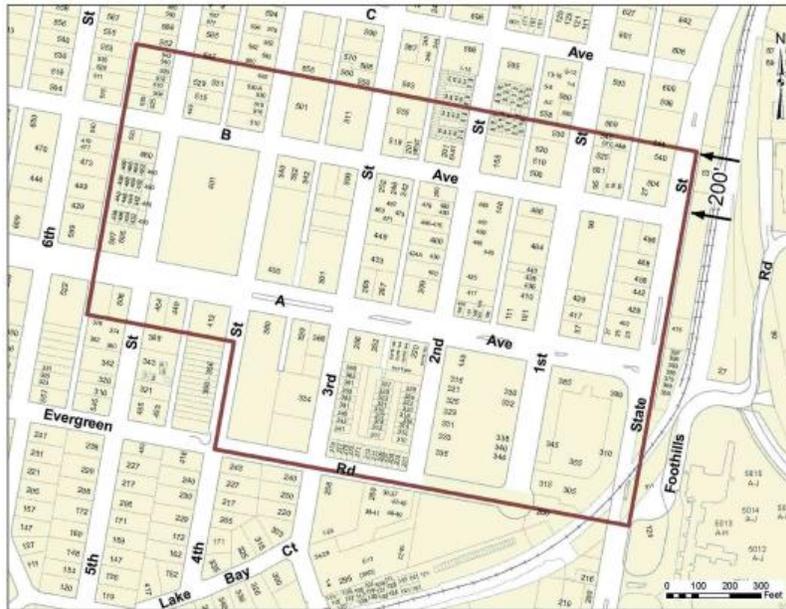
**(6)** Existing on-street parking along the property frontage shall be used to calculate parking requirements.

**(7)** In the portion of the downtown shopping and business district shown on Figure [50.05.004-L](#): Downtown – No Required Parking, below, no parking shall be required for existing or proposed uses when:

**(a)** A retail use locates in an existing structure, or

**(b)** An existing structure is expanded and the ground floor footprint does not increase in area.

**Figure 50.05.004-L: Downtown – No Required Parking**



**ii. Employee and Patron Parking Restrictions**

Employee and patron parking shall be restricted to available parking within the commercial district as follows:

- (1) On-site parking,
- (2) Owner or easement parking for patrons within 500 ft. of the business site,
- (3) Owner or easement parking for employees within 1,000 ft. of the business site, or
- (4) On-street parking along the property frontage.

**j. Parking Lot Design**

Parking shall be designed in compliance with the following criteria:

- i. Parking configuration and circulation shall be designed to provide access from streets within the district and direct traffic away from residential zones, particularly delivery vehicles. Off-site, signal or signage improvements may be required if needed to direct traffic away from residential zones.
- ii. Driveways to parking areas shall be located to avoid breaking the storefront pattern along primary pedestrian ways. First Street south of "B" Avenue shall be considered a primary pedestrian way.
- iii. Parking lots and structures shall be sited and designed to mitigate adverse lighting and noise impacts on residents. The reflection of sound by the lake surface shall be specifically considered.

## k. Parking Structures

In addition to compliance with the requirements of LOC [50.05.004.10](#), a proposed parking structure or garage shall comply with the following design standards:

- i. Retail storefronts at the ground level of parking structures shall be located at the periphery of parking areas and structures. The street side of residential parking structures may contain facilities or services for residents, such as laundry rooms, lobbies, or exercise rooms.
- ii. Building materials use the same mix of materials used on the abutting building, materials as illustrated in Figure [50.05.004-M](#): Parking Structure Building Materials and Entries. In cases where a parking structure extends to the periphery of a site, the design of the structure shall reflect the massing, fenestration and detailing of adjacent and abutting buildings.

**Figure 50.05.004-M: Parking Structure Building Materials and Entries**



- iii. Architectural elements such as a frieze, cornice, trellis or other device shall be continued from a residential portion of the building onto a parking structure.
- iv. Entries shall be designed to be subordinate to the pedestrian entry in scale and detailing. If possible, parking structure entries shall be located away from the street, to the side or rear of the building.

v. If possible, parking structures should be designed so that portions of the parking structure decks are used for landscaping or entry courts to abutting buildings.

vi. Parking structures shall use the same be detailed at ground level building materials and cornice line height as the in a manner similar to adjacent or abutting buildings in order to create a strong/emphasized base.

### I. Street, Alley and Sidewalk Design

Street, sidewalk and alley design should ~~shall~~ safely and efficiently provide for vehicular and pedestrian travel while enhancing village character through compliance with the following design standards. These standards shall apply in addition to any other City requirements for street, alley or sidewalk design. In the event of a conflict, the provisions of this section shall control.

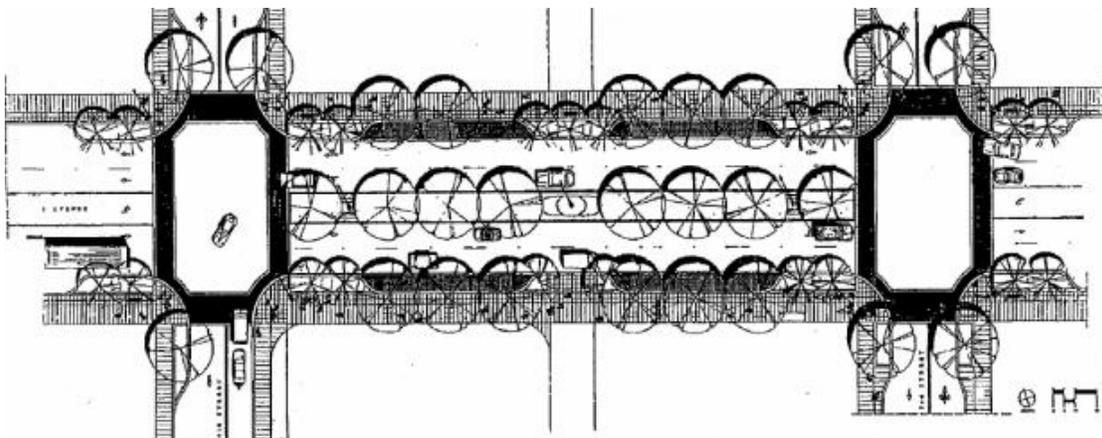
#### i. Compliance with Comprehensive Plan

Development shall comply with the Major Street System Policies contained in the Goal 12, Transportation Chapter of the Comprehensive Plan. Pursuant to this element, "A" Avenue and State Street are classified as major arterials, "B" Avenue from State Street to Fifth Street and First through Fifth Streets from "A" to "B" Avenues are classified as major collectors.

#### ii. "A" Avenue

Any improvements to "A" Avenue shall be designed and constructed in conformance with the 1994 Concept Plan as it exists now or may in the future be amended by LORA. This plan identifies turn lane configuration, island location, signal location and general scope of the project. "A" Avenue shall be designed to blend with and continue the design themes of the Demonstration Street Project as shown in Figure [50.05.004-N](#): Demonstration Street Project, or in conformance with the completed construction plans for the next phase if such plans are available and have been approved by LORA.

**Figure 50.05.004-N: Demonstration Street Project**



### **iii. Intersection Design**

- i. Intersections on "A" and "B" Avenues shall create crosswalks in a different material and texture than the street paving (e.g., concrete, cobbles, or brick) to bridge the intervening streets.
- ii. Curb extensions shall be created at all intersections where feasible from a traffic management standpoint and unless such extensions would interfere with the turning and stopping requirements of emergency service vehicles (e.g., fire trucks, ambulances), buses or delivery vehicles. Such extensions will be designed to accommodate the turning and stopping requirements of such vehicles.

### **d. ~~Sidewalks~~**

~~Sidewalk design shall consider and encourage opportunities for outdoor cafes, pushcart vendors, seasonal sidewalk sales, festivals and similar uses and activities which enliven pedestrian walkways.~~

### **iv. Alleys**

Alleys shall be incorporated into design plans as pedestrian and vehicular accessways.

### **v. Undergrounding of Utilities**

Utilities shall be placed underground where feasible.

### **vi. Angle Parking**

On numbered streets, angle parking shall be installed when it will maximize the number of spaces provided and still comply with the capacity, service level and safety requirements of the street system.

## V. DRAFT AMENDMENTS TO LAKE GROVE VILLAGE CENTER OVERLAY DISTRICT

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**Note:** Only a small number of the Lake Grove Village Center Overlay (LGVCO) standards are not clear and objective. Instead of creating a separate code section for LGVCO Clear and Objective Housing Standards, staff recommends updating the LGVCO to make it entirely clear and objective.

Due to the length of this overlay code, only those sections being amended have been included in this Discussion Draft.

### 1. PURPOSE

No changes proposed

### 2. RELATIONSHIP TO OTHER DEVELOPMENT STANDARDS

No changes proposed

### 3. APPLICABILITY

No changes proposed

### 4. SITE DIMENSIONAL STANDARDS

#### a. Purpose

No changes proposed

#### b. Structure Height

##### i. Maximum Height Limits

No changes proposed

##### ii. Standards for Buildings Exceeding 35 Ft. in Height or Two and One-Half Stories

No changes proposed

##### iii. Standards for Buildings Greater Than Three Stories

This standard ensures that residential uses and additional landscape buffering adjacent to low density residential zones are provided for buildings exceeding three stories. Any building with more than three stories shall comply with subsection 4.b.ii of this section and the following:

#### (1) Residential Use

All stories above the second story shall be used exclusively for residential dwelling units.

#### (2) Requirements Adjacent to Low Density Residential Zones

The following standards apply to properties adjacent to low density residential zones:

**(a) Screen Views from Upper Stories**

Landscaping shall be provided to screen views of adjacent low density residential property from upper stories. ~~This shall be accomplished when the Applicant shall~~ applicant provides graphic documentation such as site cross-sections or enhanced photos to demonstrate how proposed screening treatment effectively satisfies this requirement with consideration of distance and sight lines to and from adjacent low density residential property windows, decks and outdoor living spaces, and topography. Trees provided to satisfy this requirement must be of sufficient size to screen views at the time of planting.

~~**(b) Preserve Existing Trees and Features**~~

~~Existing trees and features of perceived value to adjacent low density residential property shall be preserved to the extent practicable. If removal of existing features is proposed, applicant shall demonstrate why it is not practicable to preserve these existing features and how the proposed site plan provides features of equal or better perceived value to adjacent low density residential property.~~

**COMMENTARY**

This applies to buildings greater than three stories that are adjacent to low-density residential zones. “Features” and “Perceived value” are not clear and objective. This is proposed for deletion because it is redundant with other standards: Tree Preservation standards in this overlay require preservation of “trees measuring 18 in. diameter or greater at a height of 54 in. above mean ground level at the base of the trunk, or of unique horticultural quality or historic importance.” If there are specific valuable features in the Village Center that should be preserved, they should be identified in the code.

**c. Lot Coverage and FAR**

No changes proposed

**d. Yard Setbacks**

No changes proposed

**e. Streetfront Environment**

No changes proposed

**5. BUILDING DESIGN STANDARDS**

**a. Purpose**

The design standards in this section are intended to promote a variety of architectural styles, encourage pedestrian access and use of streets and gathering places, and foster compatibility with existing structures of good design and adjacent residential neighborhoods.

**b. Style and Character**

**~~i. Eclectic Mix of Styles~~**

~~Village character shall be derived from a variety of architectural elements, details, forms, and materials to create an eclectic mix of many architectural styles.~~

**ii. Design Diversity**

In order to avoid monotony of design in relation to surrounding development and create an eclectic mix of architectural styles and forms, no one dominant architectural style shall be repeated within 500 feet of the site, as measured from either side of the site within the overlay.  
~~Monotony of design shall be avoided in relation to surrounding development. Building styles shall not be repeated if doing so results in a defining dominant style of the block.~~

**COMMENTARY**

The requirement for a style not to be repeated within 500 feet replaces discretionary language intended to prevent a dominant architectural style on the block. As an example, 500 feet is the approximate length from Red Cedar Way to the south side of the Pacific Lumber site at Lanewood. Is that an appropriate spacing for architectural styles, or should the same style be permitted in closer proximity?

**iii. Permitted Architectural Styles**

The permitted architectural style shall be provided in accordance with the Building Design Section of the Lake Grove Village Center Design Handbook. Until the adoption of the Lake Grove Village Center Design Handbook, permitted architectural styles within the district and its subareas are those set forth below as described in Architecture, Oregon Style, by R. Clark (Professional Book Center, Inc., Portland, Oregon, 1983):

- (1) Permitted throughout the village center: Italianate, Arts and Crafts/Art Nouveau, Oregon Rustic/National Park, Colonial/Georgian and Cape Cod.
- (2) Additional styles permitted in the GC zone without VTA overlay only: Italian Renaissance, Chicago School/Sullivan-esque, Art Deco/Modern, and Richardsonian Romanesque.

(3) Additional styles permitted in VTA 1, VTA 2 and VTA 3: Gothic Revival, Northwest Regional, Tudor/Jacobethan.

(4) Additional styles permitted in VTA 1: Classic Revival, Second Empire (no mansard), Prairie School, Bungalow and Craftsman, and Colonial.

#### **iii.v. Composition**

Building components, such as windows, doors, eaves and parapets shall be of proper proportion and be placed in relationship to one another as determined by the architectural style of the building.

### **c. Design Features**

#### **i. General Features**

Building designs shall feature:

- (1) Complex massing,
- (2) Balanced composition of architectural forms and elements, and
- (3) Richly textured and visually engaging facades.

#### **ii. Plants and Architecture**

(1) Provide and integrate landscaping with architecture. This shall be accomplished by providing natural drought-tolerant vegetation in Landscaping may be provided at planters, borders, plazas, courtyards and in pots and/or planter boxes.

~~(2) Landscaping shall be used to help define building proportion relationships and to provide scale to the structure as a whole.~~

~~(3) Specify drought-tolerant species.~~

#### **COMMENTARY**

Drought-tolerant species moved to (1) above. (2) is proposed for deletion because a landscaping standard to define building proportion would be building and site-specific, and there are many specific standards for landscaping located in 50.05.007.6.e, Landscape Requirements.

### iii. Existing Natural Forms and Vegetation

~~(1) Buildings shall be designed and located to complement and preserve existing natural land forms, trees, and other natural vegetation.~~

~~(2) Incorporate land forms and trees as design elements which must relate to building elevations to determine scale and proportion.~~

#### COMMENTARY

Tree preservation standards are included in 50.05.007.6.e, Landscape Requirements. If there are specific natural land forms that should be preserved, they should be specifically identified in the code.

### iv. Complementary Elements

Design site amenities and building elements according to the permitted architectural style chosen for the building. ~~those elements listed below to be complementary in appearance to those buildings or structures with which they are associated:~~

- Awnings
- Bus Shelters
- Benches
- Chimneys
- Decks and Railings
- Doors
- Downspouts
- Drinking fountains
- Foundations
- Lights
- Mailboxes
- Mechanical equipment
- Signs
- Solar panels
- Stairs
- Utility connections and meters
- Vents
- Windows
- Weather vanes, and other appendages attached to the roof or projecting above the roofline

#### COMMENTARY

“Complementary to” is difficult to translate into clear and objective language. The elements listed are either integrated into the overall site and building design and would fit within the same architectural style, or cannot be designed at all (utility connections).

#### **d. Pedestrian Features**

These standards facilitate pedestrian access and create viable pedestrian-scale streetscapes and public places inclusive of pedestrian ways, parking areas, interior courtyards and public and private outdoor areas designed to foster the comfort and enjoyment of pedestrians and other users.

##### **i. Orientation and Entrances**

**(1)** Buildings shall be located within 30 ft. of a public street. Buildings located on sites adjacent to one or more transit streets shall be located within 30 ft. of at least one transit street.

**(2)** Buildings within 30 ft. of one or more public streets shall have a public entrance directly from at least one public street. Buildings located on sites adjacent to one or more transit streets shall have a public entrance directly from at least one transit street.

**(3)** Exceptions are permitted where locating the building as set forth in this standard is prevented by topographic constraints, existing natural resources, or where, in multi-building complexes, the configuration of the lot prevents locating all buildings within 30 ft. of a public street.

**(4)** Entries shall be sheltered and emphasized through the use of canopies, overhangs, awnings, or arcades.

~~**(5)** Entrances to upper floors shall be located so as not to conflict with street level and public area activities and pedestrian use.~~

##### **COMMENTARY**

The intent of this standard was not clear. The Planning Commission and Advisory Committee did not see a problem with having building entrances located on the street-facing ground floor that lead to interior lobbies, staircases or elevators to upper floors.

~~**(65)** Additional standards for public entrances apply as follows: Requirements set forth in the Urban Village section apply at locations identified as Urban Village on Figure [50.05.007-D](#): Village Character Map. Requirements set forth in the Streetfront Environment standards apply at locations identified as Transitional Streetfront Environment – Campus Street Orientation designations on Figure [50.05.007-D](#): Village Character Map.~~

##### **ii. Walkways**

Walkways shall be continuous, direct and free of barriers such as poles or other obstructions.

##### ~~**iii. Open Area Amenities**~~

~~Streetscapes and public areas shall provide for "layers" of design elements and amenities such as benches and walls, landscaping, street trees and walkways.~~

**COMMENTARY**

This is redundant to other specific standards that address streetscape and public area design, including the Village Center Theme for streetscape elements, Site Planning Standards, and standards for Village Gathering Places and Public Plazas.

**iv. Windows**

~~(1) Windows shall be numerous and placed at the pedestrian level to provide a visual connection to the street environment and public areas.~~

~~(2) Windows at upper floors shall provide a visual connection to the street and public areas. Tinted glass shall not be used.~~

~~(3) Windows at dwelling units shall provide a visual connection to the street and public areas. Architectural elements including but not limited to balconies, front porches and windows may be employed.~~

**COMMENTARY**

(1) is repetitive to requirements for 80% ground floor fenestration. (2) and (3) call for a connection to the street, which windows typically provide. The standard should remain somewhat flexible so as not to conflict with the architectural style requirements. Requirements such as calling for 30% upper story fenestration could be specified here.

**v. Rain Protection**

(1) Rain protection shall be provided over windows and entrances along the frontage of any building that abuts a public sidewalk or walkway.

(2) Rain protection shall consist of awnings, canopies or projections extending a minimum of four ft. or half the width of the sidewalk or walkway from face of window wall.

(3) Vinyl awnings are prohibited.

**vi. Lighting**

Exterior building lighting is intended to shall be provided at a scale to enhance the pedestrian environment as part of the architectural concept. This shall be accomplished by meeting the following standards:

~~(2) Fixtures, standards, and exposed accessories shall be compatible with the building and overall site design.~~

**(31)** Lighting shall be shielded, directed downward, and designed to prevent glare on abutting properties.

**(2)** Structures shall provide exterior, pedestrian-oriented building lighting along the ground floor. Along street and public space-facing ground floors, lighting shall be installed at least every 30 feet. Pedestrian-oriented lighting may include sconce or gooseneck fixtures.

**(3)** When ground floor architectural bays are provided, exterior, ground floor building lighting shall be integrated into the sign frieze and/or into the column/pilaster/post of the ground floor architectural bays, as illustrated in **Figure 50.06.001-Q.**

#### **e. Roofs**

i. Flat roofs are permitted only on buildings greater than 20 ft. in height.

[Cross-Reference: Minimum Height at Streetfront, LOC [50.05.007.4.e.iii.](#)]

ii. Mansard roofs are prohibited.

iii. Ecoroofs and roof gardens are encouraged to reduce runoff, promote rooftop storage for reuse, enhance building cooling and insulation, reduce heat island effect offering area cooling, improve air quality and to provide an attractive outdoor area.

iv. Buildings shall be designed and constructed with roof angles, overhangs, flashings, and gutters to direct water away from the structure, pedestrian walkways and outdoor public places.

#### **f. Screening and Sound Buffering**

i. Building vents and mechanical equipment (including rooftop and ground level units) shall be screened from ground level view with materials and/or landscaping that are integrated into the overall site and building design. ~~harmonious to the building.~~

ii. ~~Rooftop mechanical equipment shall be screened from ground level view from all sides.~~

#### **COMMENTARY**

Combined with i. above.

iii. Solar panels are exempt from subsections 5.f.i and ii of this section.

iv. Buildings and associated noise generating equipment shall be designed and constructed to reduce limit noise levels impacts on adjacent residential interior-occupied spaces and adjacent property to (insert dBA levels, as measured at the property line). by the following methods:

~~(1) Use solid barriers such as fences, berms, natural land forms, and structures compatible with adjacent buildings to reduce sound levels.~~

~~(2) Minimize the window surface on sides facing adverse sound sources, where possible.~~

~~(3) Heat pumps or similar noise generating equipment shall be located so that operating noise does not affect use of living areas such as bedrooms, outdoor decks or patio areas and adjacent property.~~

#### **COMMENTARY**

Calling for sound levels to be reduced does not provide a clear and objective standard for how much noise may be permitted. The methodologies for reducing noise impacts are proposed to be replaced with a standard for maximum noise levels. The methods used to limit noise levels would be left to the building professionals.

Further evaluation needs to be conducted to determine appropriate dBA levels.

### **g. Materials**

#### **i. Wall Materials**

Materials for walls and exterior components shall be complementary to each other, durable, and of high quality. The following exterior materials are not allowed:

(1) EIFS or other synthetic stucco material,

(2) Metal and vinyl siding,

(3) T-111 paneling,

(4) Composite wood siding of any kind,

(5) Mirrored glass,

(6) Standard form concrete block (not including split faced, colored or other block designs, which mimic stone, brick or other masonry),

- (7) Back-lighted fabrics,
- (8) Plastic and fiberglass except when used to replicate styles, or
- (9) Corrugated metal.

## ii. Roof Materials

Materials used for roof repairs (patching) must not be readily visible. Roof materials shall be limited to:

- (1) Slate,
- (2) Tile,
- (3) Shakes or wood shingles, or
- (4) Synthetic materials (e.g., concrete, pressed wood products, metal or other materials) that are designed to and do appear to be slate, tile, shake or wood shingles.

## iii. Colors

- (1) Natural or subdued building color shall be used for expanses of exterior surfaces.
- (2) Bright or primary colors for entire walls or roofs shall not be allowed.
- (3) Use of bright accent trim colors shall be limited.

### COMMENTARY

Section iii. Colors is not clear and objective. The following options may be considered:

- 1. Exempt housing proposals from this requirement.
- 2. Develop a specific color palette for the LGVCO
- 3. Eliminate the color requirement

## h. Special Design Standards within the Village Transition Area

These standards apply within the Village Transition Area to foster visual interest and compatibility between adjoining buildings through appropriate scale relationships.

### i. Design Elements

One or more of the following design elements shall be featured:

- (1) Balconies and/or dormers to provide distinct and separate areas.

(2) Setting back parts of the facade to reduce the mass of large buildings or row of attached dwellings.

~~(3) A variety of harmonious colors, textures, material changes in rooflines, eaves, gables, trim details, bay windows, balconies, porches, and verandas.~~

**COMMENTARY**

These elements are part of the architectural detailing required with the permitted architectural styles.

(43) Dormers to break up roof expanses.

**ii. Building Planes**

Building planes shall be broken down both horizontally and vertically through the use of one or more of the following design elements:

(1) Recessed or projected entries and porches.

(2) Combinations of roof gables and eaves facing on public sides of the building(s).

~~(3) Windows selected and composed to reference a human scale.~~

**COMMENTARY**

To be made clear and objective, a standard could be added calling for a minimum percentage (such as 75%) of windows at upper stories and/or residential uses be vertically oriented , with a minimum vertical to horizontal ration of 1:5:1.

(4) Balconies.

(5) Wall planes offset a minimum depth of two ft.

**i. Urban Village Design Areas**

Urban Village Design Area standards promote scale and design features appropriate to a street orientation. The following standards apply for properties designated Urban Village on Figure [50.05.007-D](#): Village Character Map.

**i. Primary Entrances**

No changes proposed

**ii. Side Wall Plane**

No changes proposed

**iii. Public Plaza**

No changes proposed

**iv. Urban Village Standards for Buildings Exceeding 35 Ft. or Two and One-Half Stories**

These standards ensure taller buildings contribute appropriately to village scale and character. The following standards apply to buildings exceeding 35 ft. or two and one-half stories at locations designated Urban Village on Figure [50.05.007-D](#): Village Character Map.

**v. (1) Facade Plane**

No changes proposed

**vi.(2) Design Features**

A minimum of two of the following design features are required. (Desired design features are to be illustrated in the Building Design section of the Lake Grove Village Center Design Handbook.)

**(4a)** The primary roof shall feature a minimum six-to-12 slope. The roof shall slope up and away from any abutting street. Secondary roof forms or architectural features such as dormers or bays may form gables facing the street. Mansard roofs are prohibited. This requirement is illustrated in Figure [50.05.007-R](#): Roof Design.

**Figure 50.05.007-R: Roof Design**

No changes proposed, removed for purposes of draft

~~**(2b)** Windows, balconies, or entryways to balconies or terraces shall be used to create the perception of depth, transparency and establish a human scale at upper stories. To create the perception of depth and establish a human scale, true windows, transparent balconies or entryways to balconies or terraces shall be incorporated into upper story facades.~~

**(3)** Variation in materials, textures, colors, and shapes shall be used to make stories above the second story appear to recede from view.

**(4c)** A public plaza shall be provided. The plaza shall meet the requirements of subsection 5.i.iii of this section, Public Plaza. Notwithstanding these requirements, the plaza shall not be less than 4% of the lot area or 500 sq. ft., whichever is greater.

**No proposed changes to remaining standards in 50.05.007**

## VI. DRAFT AMENDMENTS TO OLD TOWN NEIGHBORHOOD DESIGN

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### 50.05.006 OLD TOWN NEIGHBORHOOD DESIGN

#### 1. PURPOSE

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The purpose of this ~~these~~ design overlay ~~district standards~~ is to develop a cohesive and orderly relationship between existing and proposed buildings in the Old Town Neighborhood by providing visual connections defined by the predominant architectural characteristics of the Old Town styles (see LOC [50.11.003](#), Appendix C). ~~Copying the existing building styles is not the intention of these guidelines.~~ While a new development may have a distinctive identity, its overall effect should support and reinforce the Old Town styles.

#### ~~2.~~ 3. APPLICABILITY

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This ~~standard~~ section is applicable to major development or minor development within the R-DD (Design District) zone as described in LOC [50.07.003.14.a.ii\(1\)](#).

#### COMMENTARY

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This is section 3 in current Code, and is moved up because Applicability should be section 2.

#### ~~3.~~ 2. DEFINITIONS OF REQUIRED OLD TOWN STYLES

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##### a. Intent

The intent of the following standards is to ensure structures reflect the historic architectural styles of the Old Town neighborhood, and that new structures blend with existing neighborhood structures built in these historic styles and located in the Old Town neighborhood. Structures in ~~the~~ Old Town style shall generally be characterized by simple massing and composition, the use of natural building materials, window and door openings emphasized with trim, and gable and hip roof forms.

##### b. Old Town Style

Structures shall be designed in one of the three following consist of elements from not more than two of the following traditional American home building styles, as described and outlined below: Early 1900 Vernacular style (gable-front or gable front-and-wing), Craftsman, or Cape Cod.

## COMMENTARY

This following section has been relocated from Appendix C, with the exception of photo examples illustrating the three architectural styles and walls. Additions and deletions reflect changes from the current Appendix C [LOC 50.11.003]. Please note that the figure numbers still reflect their location in the Appendix, and will need to be updated.

### i. Early 1900 Vernacular Style

**Description of Style:** One or two story with moderately pitched gable front or gable front with side wing, often with a front porch with shed or hip roof. Vernacular style house forms include square, rectangular, L- or T-plan with intersecting gables. These houses can include symmetrical placement of doors and double-hung sash windows, which are emphasized by window trim. They are typically sided with shiplap ~~or other wood~~ horizontal siding, and have minimal or simple ~~Typically, there is little or no decorative detailing.~~ Other building materials may include wood shingles, real brick, or natural stone. On the more complex structures with intersecting gables, the roof ridge of one of the gables is sometimes higher than the other adjacent wing.

**Required Design Elements:** Structures built according to the Early 1900 Vernacular style in Old Town shall provide the following design elements:

## COMMENTARY

Throughout this section, required and encouraged design elements derived from existing “Characteristic Elements of the Style” located in the Appendix (with some additional elements provided, as needed).

- (1) Building Height: Single family residential dwellings shall be a maximum of two stories.
- (2) Massing/Composition: Single family residential dwellings shall have square, rectangular, L-shaped, or T-shaped plan (see Figure 50.11.003-A). Building projections illustrated in L-shaped and T-shaped plans in Figure 50.11.003-A may extend from any location along the building façade. Porch projections may be appended to any of the above plan types. Multi-family and townhouse structures shall provide additional building articulation, in accordance with standards in LOC 50.06.001.5.c.ii and iii.
- (3) Roof Style: Gable front, or gable front with side wing (see Figure 50.11.003-B).
- (4) Roof Pitch: Minimum 6:12; Maximum 12:12.

(5) Exterior Building Materials: Wood shingles, wood or wood/cement board horizontal lap siding, real brick, or natural stone are required on all building facades. Thin, adhesive applied brick and stone veneers are not permitted.

(6) Windows:

- (a) Vertically proportioned double or single hung sash windows are required on all street-facing building facades.
- (b) Windows shall have a minimum vertical to horizontal ratio of 1.5:1.
- (c) Single-family structures shall provide windows along a minimum of 30% of all street-facing building facades.
- (d) Multi-family structures shall comply with minimum window provision requirements in LOC 50.06.001.5.c.iv: Building Façade Elements.
- (e) "Snap on," surface-applied window mullions are prohibited (simulated divided light windows wherein the mullion is integral to the window assembly are permitted).

(7) Molding: Minimum 3.5 inch wide trim is required on all windows and minimum 5inch trim on all doors..

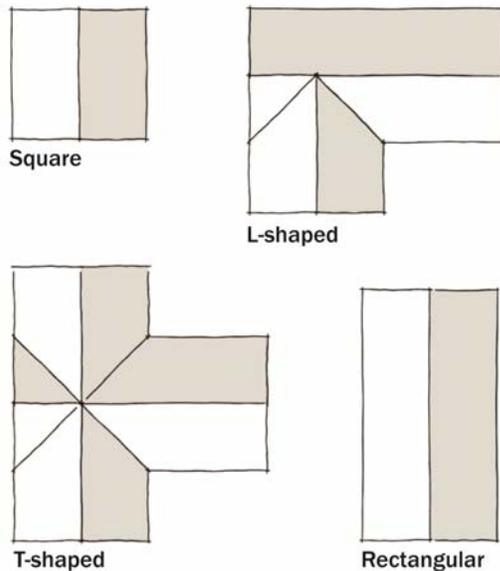
(8) Front Entry:

- (a) Single-Family Residential: A covered front porch measuring a minimum of six feet deep and eight feet wide, or front entry that is recessed at least three feet behind the front building façade.
- (b) Multi-Family Residential and Townhouses: Ground floor residential entries shall provide a covered front entry measuring at least six feet deep, or a front entry that is recessed at least three feet behind the front building façade.

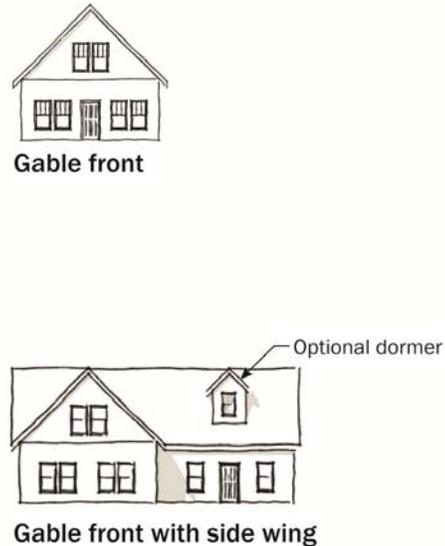
**COMMENTARY**

The Required Design Elements have been added to provide clear and objective standards for the Early 1900 Vernacular Style. Townhouses and multi-family structures must also comply with Building Articulation and Building Façade requirements located in the Building Design section of the Code, which is referenced in the standards above.

**Figure 50.11.003-A:**  
Early 1900 Vernacular style massing / composition



**Figure 50.11.003-B:**  
Early 1900 Vernacular style roof types



**Additional Allowed Design Elements:** In addition to the required design elements, structures built according to the Early 1900 Vernacular style in Old Town may provide some or all of the following design elements:

1. Offset ridgelines at intersecting gables
2. Dormer(s) facing the primary street frontage.

## ii. Cape Cod

**Description of Style:** A 20th century Cape Cod is square or rectangular with one or one-and-a-half stories and steeply pitched, side gable roofs, sometimes with an intersecting gable often with dormers. ~~It may have dormers and shutters.~~ The siding is usually clapboard or brick. There is often an accentuated front door, with a decorative crown (pediment) supported by pilasters or extended forward and supported by slender columns to form a small entry porch. Windows typically are with double-hung sashes, usually with multi-pane glazing on one or both sashes, frequently in adjacent pairs.

**Required Design Elements:** Structures built according to the Cape Cod style in Old Town shall provide the following required design elements:

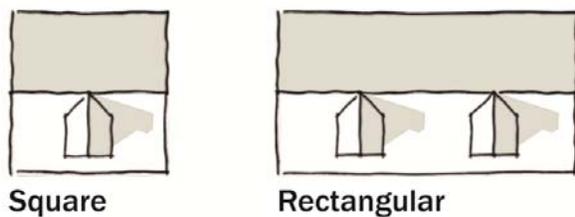
- (f) Building Height: Single family residential dwellings shall be a maximum of two stories.

- (g) Massing/Composition: Single family residential dwellings shall have square or rectangular plan (see Figure 50.11.003-A). Multi-family and townhouse structures shall provide additional building articulation, in accordance with standards in LOC 50.06.001.5.c.ii and iii.
- (h) Roof Style: Side gable roof (see Figure 50.11.003-D).
- (i) Roof Pitch: Minimum roof pitch 8:12 or greater. Shed roof dormers are exempt from this requirement.
- (j) Exterior Building Materials: Wood shingles, wood or wood/cement board horizontal lap siding, real brick, or natural stone are required on all building facades. Thin, adhesive applied brick and stone veneers are not permitted.
- (k) Windows:
  - (a) Double or single-hung sash windows with multi-paned glazing on one or both sashes required on all street-facing building facades.
  - (b) Single-family structures shall provide windows along at least 30% of all street-facing building facades.
  - (c) Multi-family structures shall comply with minimum window provision requirements in LOC 50.06.001.5.c.iv
  - (d) "Snap on," surface-applied window mullions are prohibited (simulated divided light windows wherein the mullion is integral to the window assembly are permitted).
- (l) Front Entry: A decorative crown (pediment) above the front entry that is supported by pilasters, or a covered front entry porch measuring at least six feet deep that is supported by columns measuring at least 5.5 inches wide.
- (m) Molding: Minimum 3.5 inch wide trim is required on all windows and minimum 5 inch trim on all doors.

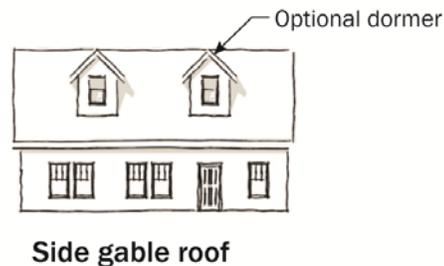
**COMMENTARY**

The Required Design Elements have been added to provide clear and objective standards for the Cape Cod Style. Townhouses and multi-family structures must also comply with Building Articulation and Building Façade requirements located in the Building Design section of the Code, which is referenced in the standards above.

**Figure 50.11.003-C:**  
**Cape Cod style massing / composition**



**Figure 50.11.003-D:**  
**Cape Cod style roof types**



**Additional Allowed Design Elements:** In addition to the required design elements, structures built according to the Cape Cod Style in Old Town may provide some or all of the following design elements:

1. Dormer(s) facing the primary street frontage.
2. Windows: True divided light, multi-paned windows, in which individual sheets of glazing are provided between mullions (as opposed to simulated divided lights).
3. Operable window shutters.

### **iii. Craftsman**

**Description of style:** Low pitched gabled roof (occasionally hip) with wide, overhanging eaves, roof rafters usually exposed, decorative (~~false~~) beams or braces commonly added under gables, porches either full or partial width, with roof supported by tapered square columns or pedestals, frequently extended to ground level and frequently composed of stone, clapboard, brick or in combination. Dormers are commonly gabled in twos or threes or large windows on the front facade with smaller pane sections above and often flanked by two smaller windows. The most common wall cladding is wood clapboard, wood and shingles, with stone and brick used in combination, or for porch post pillars or columns. Stucco is occasionally used as is board and batten.

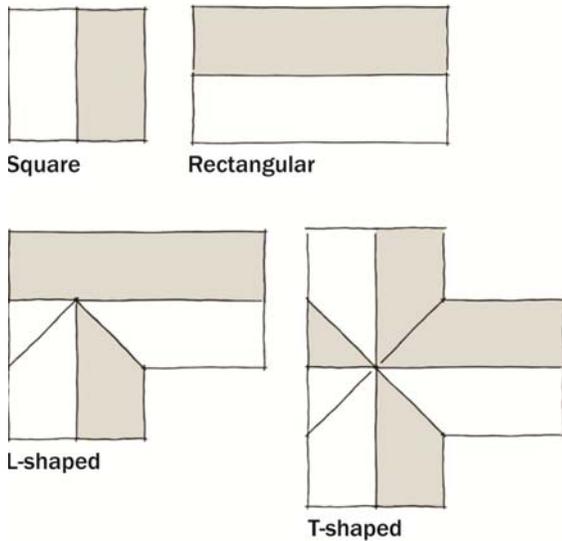
**ii. Required Design Elements: Structures built according to the Craftsman style in Old Town shall provide the following required design elements:**

- Building Height: Single family residential dwellings shall be a maximum of two stories.
- Massing/Composition: Single-family residential dwellings shall have square, rectangular, L-shaped, or T-shaped plans (see Figure 50.11.003-E). Building projections illustrated in L-shaped and T-shaped plans in Figure 50.11.003-A may extend from any location along the building façade. Porch projections may be appended to any of the above plan types. Multi-family structures shall provide

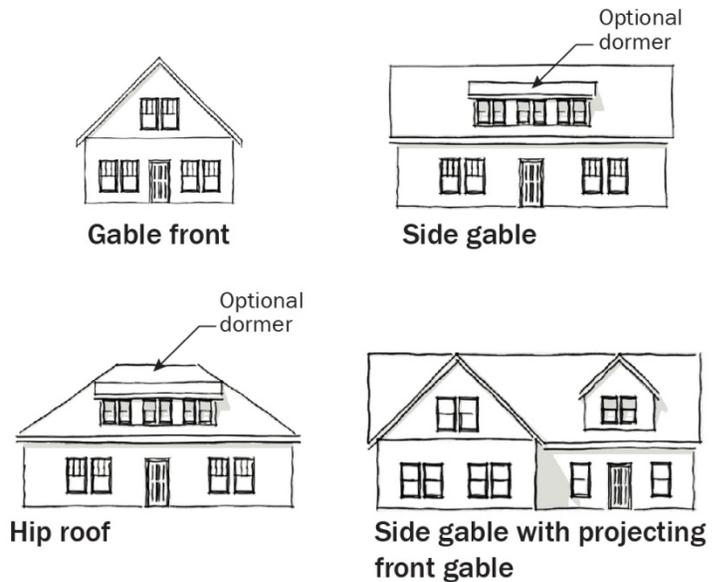
additional building articulation in accordance with standards in LOC 50.06.001.5.c.ii and iii.

- (n) Roof Style: Gable or hip roof, or combinations thereof.
- (o) Roof Pitch: Minimum 3:12; Maximum 6:12
- (p) Eaves: Minimum 2-foot eaves / overhangs
- (q) Exterior Building Materials: Exterior building materials shall be one or a combination of the following: Wood clapboard siding, wood shingles, real stone or brick, stucco, and/or board and batten. In addition to the roofing materials specified in 50.05.006.5 iv, tile may be used for roofs.
- (r) Windows: Windows shall be single or double hung sash windows, casement, awning, or picture windows (or a combination thereof). Windows shall be square or vertically oriented if vertical mullions are used. Single-family structures shall provide windows along a minimum of 30% of all street-facing building facades
- (s) Front Entry:
  - (a) Single-Family Residential: A covered front porch (full or partial width of front elevation) measuring at least six feet deep and at least half the width of the front facade. Porch roof shall be supported by tapered square, square, clustered square, or pedestal columns, measuring at least 5.5 inches in width at the narrowest point (clustered columns shall provide a minimum overall width of eight inches).
  - (b) Multi-Family Residential and Townhouses: Ground floor residential entries shall provide a covered front entry or a front entry (measuring at least six feet deep) that is supported by tapered square, square, clustered square, or pedestal columns, or a front entry that is recessed at least three feet behind the front building façade. Columns shall measure at least 5.5 inches in width at the narrowest point (clustered columns shall provide a minimum overall width of eight inches).
- (t) Molding: Minimum 3.5 inch wide trim is required on all windows and minimum 5 inch around all doors.
- (u) Multi-family and townhouse structures shall provide additional building articulation, in
- (v)
- (w) accordance with standards in 50.06.001.5.c.ii and iii.

**Figure 50.11.003-E:  
Craftsman style massing / composition**



**Figure 50.11.003-E:  
Craftsman style roof types**



iii. Additional Design Elements: In addition to the required design elements, structures built according to the Craftsman style in Old Town are encouraged to provide some or all of the following design elements:

- Exposed roof rafters and brackets.
- Dormer(s) facing the primary street frontage.
- Trim wider than 3.5 inches surrounding front entry.
- Side lights at the front entry.

#### **4. BUILDING SITING AND MASSING**

---

##### **a. Intent**

The intent of the following standards is to ensure that new structures use building massing and composition elements characteristic of the Old Town styles, and are compatible with existing neighborhood structures.

##### **b. Simple Required Massing and Composition Required**

New buildings shall comply with the building utilize massing and composition, and building height requirements associated with the chosen characteristics of the Old Town Style. ~~and shall be compatible with existing structures of the Old Town styles located on the block face where the proposed structure will be located as well as those structures of the Old Town styles in the block face across the street from where the proposed structure will be located.~~ In addition to the other requirements of this section, ~~rowhouse or townhouse units shall be differentiated from one another through the use of varied setbacks for each unit or groups of units and/or varied rooflines and heights to provide visual interest and create the appearance of a single family development pattern along the street. Abutting rowhouse or townhouse units shall not have identical facades.~~

#### **COMMENTARY**

Articulation and roofline variation between adjacent townhouse/rowhouse units is addressed in 50.06.001.5.c.iii

#### **b.c. Roof Form and Pitch**

All roofs shall comply with roof style and roof pitch requirements associated with the chosen Old Town style. ~~New structures shall be designed with gable and hip roof forms. Flat or shed roof forms are prohibited for primary structures, but may be allowed for secondary building projections such as dormers or porches (see LOC [50.11.003](#), Appendix C, Figure 1). Roof pitch shall be similar to typical pitches of Old Town styles. In no case shall pitch be less than 6 ft.:12 ft. for the primary roof form. Structures located on the same block face as the proposed development as well as on the block face across the street, that are examples of the Old Town styles, shall also be considered in determining preferable roof pitch. For corner lots, structures in the Old Town styles on both block faces of the proposed development, as well as adjacent blocks across these streets, shall be considered.~~

### **5. BUILDING DESIGN AND MATERIALS**

---

#### **a. Intent Old Town Style Required**

The intent of the following standards is to ensure new structures reflect the historic building design and materials of the Old Town neighborhood, and that new structures blend with existing neighborhood structures built in these historic styles. ~~New buildings shall be designed using the building design elements described in the Old Town styles, to create buildings which blend with existing structures in these styles located on the same block face as the proposed development and on the block face across the street.~~

## b. Materials

### i. Moldings

~~New structures shall comply with minimum requirements associated with the chosen Moldings, window casings and other trim elements utilized on buildings shall be similar to those represented in the Old Town styles. Where possible, they shall match or complement the detailing of structures on the same block face as the proposed development and on the block face across the street, which are designed in the Old Town styles.~~

### ii. Building Materials Siding

~~New buildings shall comply with requirements for exterior building materials associated with the chosen Old Town style. The predominant exterior siding materials in the Old Town styles are:~~

- ~~(1) Horizontal wood siding (three to eight in. wide shiplap or clapboard);~~
- ~~(2) Board and batten siding;~~
- ~~(3) Stone, brick or stucco of a type used in the Old Town styles; and~~
- ~~(4) Plain or patterned wood shingles as described in the Old Town styles.~~

~~These materials may be used alone or in combination.~~

#### COMMENTARY

Because the same materials are not appropriate for all of the Old Town styles, this text is replaced by separate materials listed for each of the three different styles.

~~Development should use traditional materials as discussed in the Old Town styles description, but may include representations of the actual materials in pressed wood products, vinyl or metal. Traditional masonry materials, or concrete or other products made to appear like brick or stone, may also be used.~~

### iii. Prohibited Siding Building Materials

The following materials are prohibited:

- (1) Grooved, presawn plywood (e.g., T-111);
- (2) corrugated m Metal;
- (3) Pressed wood and plywood

- (4) Vinyl siding
- (5) E.I.F.S. (fake stucco)
- (6) Concrete or other products made to appear like brick or stone
- (7) ~~d~~Diagonally applied or vertically-oriented siding materials with the exception of board and batten siding. subsection 5.b.ii(2) of this section are prohibited.

#### **iv. Permitted Roofing Materials**

The following roofing materials are permitted:

- (1) Composition shingles,
- (2) ~~w~~Wood shingles or ceramic tiles, or
- (3) ~~m~~Materials which have the appearance of composition or wood shingles, or ceramic tiles, shall be used.
- (4) Clay or cement roof tiles for Craftsman style buildings.

#### **v. Chimneys**

Chimneys shall be real brick or real stone, or boxed-in with the predominant siding material of the building. For the purposes of this standard, the predominant material is that material used in greater quantity than any other material.

#### **vi. Windows**

Sash materials shall be wood, vinyl, or aluminum clad. Glass block is prohibited. The general window shape and typical window placement and trim of the Old Town styles shall be followed. ~~Sash materials shall be wood, or vinyl, or other material with the appearance of wood.~~

#### **vii. Entrances and Stairs**

##### **(1) Entrances**

New buildings ~~shall~~ould have a minimum of one principal entry clearly visible from the street. This entry should be accentuated by characteristic elements of the Old Town styles to make it a visual focal point. Where an entry to an additional unit is not directly visible from the street, its location should be clearly marked by some identifying feature such as an entry trellis, or entry gate with a visible address.

##### **(2) Stairs**

Front entry stairs shall contain no more than seven risers between each landing.

## 6. FENCING AND LANDSCAPING

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### a. Intent

The intent of the following standards is to ensure fencing and landscaping elements appropriately compliment the Old Town Style described in (50.05.006.3.b).

### b. Fencing

Fencing is not required. When fencing is included in the front yard, it shall be used in an ornamental or symbolic way rather than as a visual barrier. Fences and gates constructed of metal chain link are prohibited except for:

- i. Temporary fencing used in tree protection measures as required in LOC [55.08.030](#), Tree Protection Measures Required, or in construction fencing; and
- ii. Vinyl clad metal chain link in the side and rear yards of properties located east of Furnace Street; provided, that the fence does not extend into the front yard setback.

The maximum height of fencing within the front yard setback area shall be four ft. All fencing located within the street-facing setback shall be a minimum of 50% transparent. Retention of existing real stone or real brick walls fences is encouraged when new development is proposed. Construction of new real stone or real brick walls fences that are of similar height and character to existing real stone or real brick walls fences is also encouraged.

All fences or walls over five ft. in height shall incorporate an open design where areas, either at the top of the fence or wall, or throughout the fence or wall surface in a regular pattern, are permeable to light and air. The solid surface area of any fence or wall over five ft. in height shall not exceed 83% of its total area measured in any five-ft. wide section (see LOC [50.11.003](#), Appendix C, Fence Types A – C). Trellis and arbors are exempt from the ~~above~~ calculation of solid surface area.

### b. Trees and Landscaping

- i. Mature trees or tree groves shall be preserved and incorporated into the site plan for new development, where feasible, ~~unless doing so would substantially reduce development options on the site.~~ “Mature” tree means trees that are 6-18 DBH for small and medium form trees or 18 DBH or greater for large form trees.

## COMMENTARY

The Approved Street Trees list for the Old Town Neighborhood Design district would need to be updated to include a classification of small, medium and large form trees. This classification is included in the City's "Right Tree in the Right Place" guide.

ii. Two ~~street-trees~~ for every 50 ft. of street frontage are required within 10 feet of the right-of-way as a condition of approval of a new structure. New street trees shall be selected from the City of Lake Oswego Master Plant List, Approved Street Trees – Old Town Neighborhood Design (see LOC 50.11.004, Appendix D). Existing street trees can be counted in order to comply with this requirement, as long as the City Manager agrees that the existing tree(s) is/are viable, and the species is included within the ~~the type, location and viability of the existing trees are sufficient to provide a full streetscape of trees.~~ New street trees shall be selected from the City of Lake Oswego Master Plant List, Approved Street Trees – Old Town Neighborhood Design (see LOC [50.11.004](#), Appendix D).

## 7. GARAGES

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If a garage is provided, it shall meet the following siting requirements (see also LOC [50.11.003](#), Appendix C, Figure 4):

a. Minimize the visual impact of garages and parking from the street by:

- i. Facing the garage on a separate street frontage from the front door of the primary structure; or
- ii. Setting back the side of the garage facing the street a minimum of five ft. behind the front elevation of the primary structure, when the garage faces the same street frontage; or
- iii. Accessing the garage or parking area from the rear of the lot, where feasible.

b. For single garage openings (one to two cars) not facing the alley, providing a decorative trellis or other feature that will provide a shadow line giving the perception that the garage opening is recessed. The feature shall be provided across the top and along the width of the garage door(s) and shall be at least 12 in. deep and six ft. tall; or

c. For multiple garage openings (three or more cars) not facing the alley, only the garage openings for the first two vehicles may occupy the same building plane. Each additional building plane with a garage opening shall be set back by a minimum of two ft. from the previous garage building plane.

d. Exceptions. The standards in LOC [50.05.006.7.b](#) and [50.05.006.7.c](#) shall not apply in the following circumstances:

- i. Where the average slope of a parcel exceeds 20%;
  - ii. Where the width of a parcel is less than 50 ft.; or
  - iii. Where the garage is proposed to be set back at least 60 ft. from the public right-of-way.
- e. Detached garages shall have the same roof pitch and architectural style as the primary structure.

## **8. ADDITIONAL REQUIREMENTS FOR MULTIPLE-FAMILY DWELLINGS**

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### **a. Intent**

Due to their potential size, ~~of~~ multi-family structures ~~attention should be given to~~ incorporating the design forms and elements of surrounding buildings that are in the Old Town styles, so that new multi-family structures are visually reduced in scale and relate to nearby residential structures and neighborhood scale in general.

b. Townhouse, rowhouse, and multi-family structures shall be designed in one of the Old Town styles, as described and illustrated in LOC 50.05.006.3.b. In addition to compliance with LOC 50.05.006.4 through 50.05.006.6, multi-family structures projects shall also be subject to the following requirements considerations (see LOC 50.11.003, Appendix C, Figures 2 and 3):

~~a. Create visual linkages with surrounding buildings in the Old Town styles by repeating or incorporating similar ridge lines, eaves, window and door openings.~~

~~b. Offset building walls and rooflines to approximate width and height ratios of surrounding buildings.~~

~~c. Incorporate similar roof forms and gables, and smaller elements like porches, dormers or bays, to reduce the scale of new buildings and better relate them to nearby residential structures. Roof pitch may be less steep than 6 ft.:12 ft. if a reduction results in visually reducing the scale of the proposed structure and better relates the proposed structure to those surrounding structures in the Old Town styles.~~

i. Multi-family structures shall provide articulated building facades and rooflines in accordance with requirements in LOC 50.06.001.7.c.i Building Articulation for Multi-Family and Residential Mixed-Use Structures.

ii. Townhouses and rowhouses shall provide articulated building facades and rooflines in accordance with LOC 50.06.001.7.c.ii Building Articulation for Townhouse/Rowhouse Structures.

~~d. Use landscape buffers between parking areas and the street as well as abutting residences.~~

iii. All surface parking areas shall provide a landscape buffer measuring a minimum of five feet wide between the parking area and any public right-of-way or abutting property. The buffer should provide continuous landscaping measuring a minimum of three feet high.

~~e. Create visual interest along the street by breaking walls into smaller planes with windows, entrances, dormers or other appropriate design elements (see LOC [50.11.003](#), Appendix C, Figure 3).~~

~~f. Break large parking areas into smaller groupings, where possible. Minimize the width of driveway curb cuts. Screen parking from the street with landscaping. Locate parking under, or at the sides and rear of buildings.~~

iv. Parking spaces may not be located within the front setback or between the building any any street frontage. Curb cut widths shall comply with LOC 50.06.003.2.

## VII. DRAFT AMENDMENTS TO WEST LAKE GROVE DESIGN DISTRICT

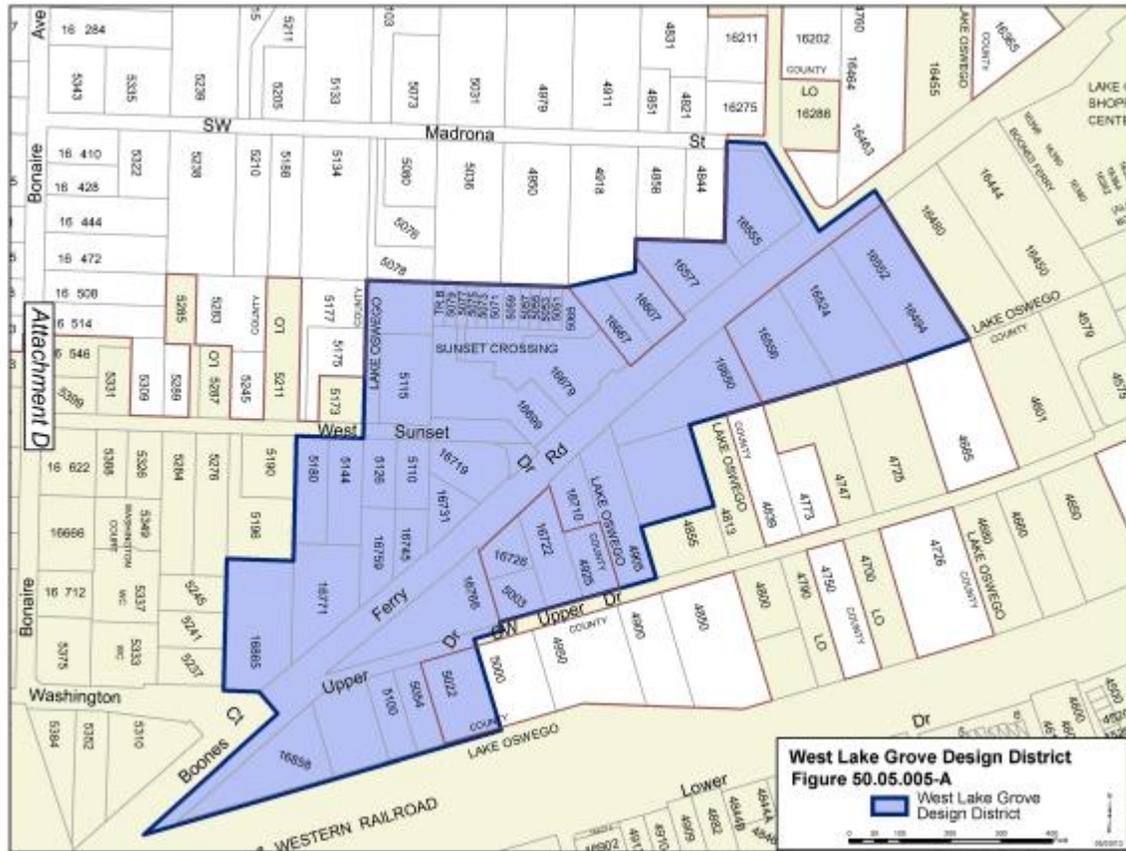
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### 1. PURPOSE

These provisions are intended to implement the Lake Oswego Comprehensive Plan and the West Lake Grove Design District, identified in Figure [50.05.005-A](#): West Lake Grove Design District Boundaries, by specifying allowed land uses and providing design and development standards to ensure:

- a.** The characteristics of allowed land uses are appropriate for this location in terms of function, transportation characteristics, and compatibility with nearby residential uses.
- b.** Development of specific transportation improvements necessary to:
  - i.** Minimize impacts on adjacent local streets through measures such as site planning, building design, and building orientation;
  - ii.** Allow for efficient and safe shared access to Boones Ferry Road to minimize traffic conflicts;
  - iii.** Ensure cohesive internal circulation and cross easements between all properties at full development; and
  - iv.** Provide for pedestrian, bike and public transit facilities.
- c.** Effective buffering and screening occurs between land uses allowed within the West Lake Grove Design District and existing single-family residential neighborhoods.
- d.** The creation of a built environment complementary to the existing character of Lake Grove which includes:
  - i.** The creation of an aesthetic entry to the City;
  - ii.** Architecturally designed structures of high design quality sited to orient towards the public streets; and
  - iii.** Conservation of existing mature Douglas fir trees and other significant trees to retain the landmark status imparted by these resources.
- f.** High quality site planning and designed landscapes.

Figure 50.05.005-A: West Lake Grove Design District Boundaries



## 2. APPLICABILITY

This section applies to development in the West Lake Grove Design District when it meets the following:

- a. Involves a structure for residential mixed-use, multi-family residential, or attached single-family (three or more units) housing that creates new dwelling units; and
- b. Is being developed under the optional Track 2 Clear and Objective Housing Standards review track.

To the extent that any requirement of this overlay imposes a regulation relating to the same matter as the use, dimensional, or development regulations in this Code, this section shall prevail.

### 3. WEST LAKE GROVE DESIGN STANDARDS EXPLAINED

This section provides for two levels of design and development standards to implement the West Lake Grove Design District. The first level are those overall design and development standards which apply to the entire district found in LOC [50.05.005.4](#), Standards Applicable to the Entire WLG Design District. The second are those standards which apply specifically to the individual West Lake Grove zones found in LOC [50.05.005.5](#), [50.05.005.6](#), [50.05.005.7](#), and [50.05.005.8](#).

### 4. STANDARDS APPLICABLE TO THE ENTIRE WLG DESIGN DISTRICT

#### a. ~~General Requirements~~ Site Design Standards

##### i. Intent<sup>2</sup>

Development which occurs within the West Lake Grove Design District ~~should~~ shall create an aesthetically pleasing ~~entry into Lake Grove~~ site design through the following design elements:

- ~~i. Architecturally designed structures of high design quality that are in scale with the site, in proportion to similar buildings in the West Lake Grove Design District and which utilize a pleasing variety of harmonious earth and muted tone materials, colors, finishes and textures;~~<sup>3</sup>
- ~~ii.~~ (1) Conservation of mature Douglas fir trees and other significant trees to retain the landmark status imparted by these resources;
- ~~iii. Orientation of building entrances shall conform to the provisions of LOC 50.06.001.5, Commercial, Industrial, and Multi-Family Development Standards for Approval;~~<sup>4</sup>
- ~~iv.~~ (2) Building design and orientation ~~should~~ shall provide for effective screening and buffering of the subject properties from adjacent residential neighborhoods; and
- ~~v.~~ (3) High quality designed landscapes involving native plant materials or those which have naturalized to the locale, which will grow to significant size and impart seasonal color and interest.

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<sup>2</sup> Created Intent section, where discretionary language is okay.

<sup>3</sup> Moved to b. Building Design.

<sup>4</sup> Moved to b. Building Design.

- (4)** Development should incorporate landscape features which contribute to a unifying design theme and continuity within the West Lake Grove Design District such as paving materials and textures, lighting, street furniture, signage and plant material selection, especially trees.<sup>5</sup>

**b. Streets and Circulation**

Access to Boones Ferry Road, new streets, internal vehicular driveways, parking, pedestrian and bike facilities shall be provided and developed in accordance with the Streets and Circulation Element of the West Lake Grove Design District shown below in Figure [50.05.005-B](#): Auto and Transportation Circulation, Figure [50.05.005-C](#): Internal Parking and Circulation, and Figure [50.05.005-D](#): Street Pedestrian Facilities and Pathways.

Figure 50.05.005-B: Auto and Transportation Circulation  
(Not included for purposes of draft)

Figure 50.05.005-C: Internal Parking and Circulation  
(Not included for purposes of draft)

Figure 50.05.005-D: Street Pedestrian Facilities and Pathways  
(Not included for purposes of draft)

Through provision of shared access and driveways, parking and pedestrian systems, development shall occur in a manner to ensure the phased construction of the planned circulation and access system and in no circumstance shall prevent the development of a cohesive access and circulation system. Furthermore, public bike and pedestrian facilities shall be provided on both sides of Boones Ferry Road as illustrated by Figures [50.05.005-B](#), [50.05.005-C](#), and [50.05.005-D](#). Figures [50.05.005-E](#), [50.05.005-F](#), [50.05.005-G](#), [50.05.005-H](#), and [50.05.005-I](#) illustrate the desired design treatment of West Sunset Street, Lower Boones Ferry Road and a pedestrian path intended to serve a portion of the WLG R-2.5 Residential Townhome zone.

Figure 50.05.005-E: West Sunset Street Typical Street Section A-A  
(Not included for purposes of draft)

Figure 50.05.005-F: West Sunset Street Typical Section B-B  
(Not included for purposes of draft)

Figure 50.05.005-G: Lower Boones Ferry Road Typical Section C-C  
(Not included for purposes of draft)

Figure 50.05.005-H: Pedestrian Walkway Typical Section  
(Not included for purposes of draft)

Figure 50.05.005-I: Lower Boones Ferry Road Typical Section E-E  
(Not included for purposes of draft)

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<sup>5</sup> This language moved to intent statement from “g. Unifying Design Elements” below.

The number of access points on Boones Ferry Road shall be minimized through the use of consolidated driveways sufficiently wide enough to allow for simultaneous ingress and egress. This shall require property owners to agree to construct or share in the cost of consolidated driveways either:

- ~~i.~~**(1)** At the time of development; or
- ~~ii.~~**(2)** At such future time when sufficient land area is developed to make driveway consolidation practical.

If it is impractical, due to the timing of development, to develop consolidated driveway access for more than one parcel, the location of future consolidated access shall be determined by the approval authority based upon the:

- ~~(1a)~~ **(1a)** Streets and Circulation Element of the West Lake Grove Design District, Figure [50.05.005-B](#), Figure [50.05.005-C](#), and Figure [50.05.005-D](#);
- ~~(2b)~~ **(2b)** The ability to serve the maximum number of land uses and properties;
- ~~(3c)~~ **(3c)** Traffic safety and operational characteristics; and
- ~~(4d)~~ **(4d)** Use of more than one property to ensure future consolidated access, such as at property lines.

The approval authority may approve interim individual driveways access to Boones Ferry Road subject to the findings of a traffic analysis and the condition that when adjoining properties develop, permanent shared access be developed pursuant to this section. In circumstances where the location of permanent shared access is not in the same location as an interim driveway, the driveway shall be removed and the area landscaped or otherwise integrated into the design of the subject site under the provisions of this section.

Driveway consolidation shall require the execution of reciprocal, nonrevocable easements in a form necessary to ensure unimpeded property access and driveway maintenance.

All driveways shall include safety features such as changes in surface material, signage and lighting to alert drivers to the potential presence of pedestrians.

### **e.iii Pedestrian and Bicycle System**

Continuous and connecting hard-surface pedestrian pathways, including a continuous meandering pathway on both sides of Boones Ferry Road, a minimum of eight ft. in width and accessible to the public, shall be provided throughout the West Lake Grove Design District (see Figure [50.05.005-D](#): Street Pedestrian Facilities and Pathways). The location and radii of the pathway shall ensure a sufficient setback from Boones Ferry Road to allow for amenities such as ~~effective~~ landscaping, street trees and lighting.

These pathways shall provide access to all Design District properties and to the public pedestrian system in the surrounding residential neighborhoods and Lake Grove Commercial District. Pedestrian pathways shall be a minimum of six ft. from the exterior wall of any structure.

A walkway shall be developed as illustrated by Figures [50.05.005-D](#) and [50.05.005-H](#) to provide continuous pedestrian access to townhomes developed within the north portion of the WLG R-2.5 zone.

If inadequate right-of-way exists within which to construct the above eight-ft.-wide meandering pathway, then property owners shall be required to provide a public easement of sufficient size for pathway construction and maintenance.

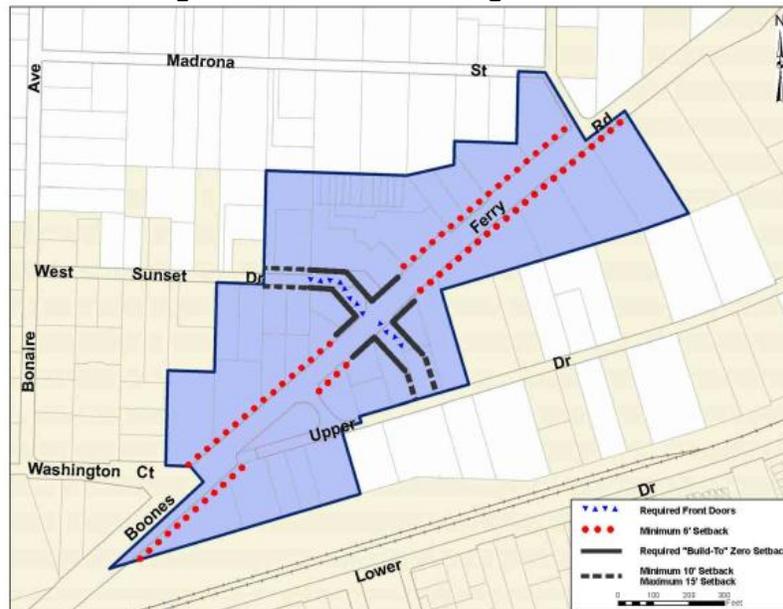
#### **d.iv. Intersection Design**

Intersections shall serve as design focal points through the application of landscaping, surface treatments and appropriately scaled lighting. Buildings adjacent within the WLG RMU zone shall, where feasible, orient entrances to intersecting streets to facilitate pedestrian usage. Buildings within the WLG OC zone shall orient entrances to intersecting streets as illustrated by Figure [50.05.005-J](#): Building Orientation.

#### **COMMENTARY**

Discretionary language removed, and requirement for the WLG OC zone will not apply because residential uses are not currently permitted in this zone.

**Figure 50.05.005-J: Building Orientation**



**e. v. Street Lighting ~~Public Safety~~**

~~Intersection design and improvements shall enhance pedestrian safety and ease of crossing Boones Ferry Road and other streets within the Design District.~~ Street lighting of a consistent style shall be provided within the Design District.

**COMMENTARY**

The safety of the intersection is the responsibility of the Engineering Department and does not fall within LOC Chapter 50.

**f. vi. Landscaping Standards**

Purpose: Landscape treatment is intended to ~~development shall~~ reinforce the informal "village" scale and character of Lake Grove.

**i. (1) Landscape Styles**

The following ~~appropriate~~ landscape styles shall be emphasized for residential, office/commercial and neighborhood commercial development within the Design District:

- ~~(1a)~~ Informal massing and arrangement An asymmetrical composition or natural grouping of plant materials around buildings, parking lots, and within required landscaped buffers;
- ~~(2b)~~ Rows of street trees within areas designated for neighborhood commercial;
- ~~(3c)~~ Meandering pedestrian pathways; and
- ~~(4)~~ Wide concrete or brick sidewalks adjacent to buildings designated as Office Commercial/Neighborhood Commercial; and
- ~~(5d)~~ Use of trees which grow to a minimum height of 25 feet and provide a spread of 15 feet when mature significant size including native evergreen trees where possible, ~~and avoiding use of columnar form hybrids.~~ See 50.05.005.4.a.vi (2)(i) for tree requirements for parking area landscaping.

**ii. 2 Parking Area Landscaping, Buffering, and Screening**

**(1a) Purpose**

The overall design themes for parking lot landscapes shall emphasize development of a natural appearing landscape, which utilizes plant materials that are either native or have naturalized to the locale. Off-street parking areas ~~shall~~ should be designed and landscaped

to:

- (aj)** Be buffered and screened from adjoining residential uses;
- (bii)** Ensure that trees are integral to parking lot design to provide for aesthetics and shade;
- (eiii)** Be an integral part of a development's overall site plan, taking into special consideration the requirement to preserve significant vegetation;
- (div)** Visually mitigate large expanses of paving and allow for alternative surface treatments, such as the use of gravel and other pervious surfaces to preserve existing mature trees; and
- (ey)** Preserve existing significant vegetation, especially existing mature Douglas firs and other significant vegetation.

## **(2) Minimum Parking Area Lot Landscaping Standards**

All parking areas ~~lots~~ shall be landscaped to conform to the following minimum standards:

- (a)** Trees planted to meet the landscaping requirements for parking lots shall be deciduous shade trees of at least three in. in caliper which reach a minimum mature height of at least ~~30~~ 25 ft. and have a minimum spread of 20 feet ~~the canopy and structure necessary in order~~ to cast moderate to dense shade.
- (b)** Where ~~adequate~~ room is available, large-scale evergreen trees such as western red cedar, western hemlock, California incense cedar, and Douglas fir of at least four to six ft. in height and which reach a mature height of at least 70 ft. shall be incorporated into the landscape theme.
- (c)** Exceptions to the requirements of subsections 4.f.ii(2)(a) and (b) of this section may be allowed for circumstances that limit placement of trees such as overhead lines, underground utilities and confined spaces.
- (d)** Parking areas shall be divided into bays of not more than eight parking spaces. Between and/or at the end of each parking bay there shall be curbed planters of at least five ft. in width. Each planter shall contain one shade tree of at least three in. in caliper. The planter shall also be planted with appropriate ground cover or shrubs at a rate of two two-gallon plants for every 20 sq. ft. of landscape area. The intervening area between plantings shall be mulched with an appropriate material to a minimum depth of three in.
- (e)** Parking ~~lots~~ areas fronting a driveway, sidewalk, pathway or public street shall

be bordered by a minimum five-ft.-wide landscaped area. Within this area, shade trees shall be planted every 30 ft. Planting of shrubs and ground cover and mulching shall occur pursuant to subsection 4.f.ii(2)(d) of this section.

(f) Parking areas shall be separated from the exterior wall of a structure by a minimum of a ten-ft. buffer which may include a pedestrian pathway and/or landscaped strip. Parking areas or driveways shall be separated from abutting residential zones by a minimum 15-ft. landscape buffer pursuant to LOC [50.05.005.4.i.ii](#), Landscape Buffering.

(g) All parking area landscaping shall be provided with underground irrigation.

(h) Entrances to parking areas shall be specifically indicated through pedestrian-scale signage and lighting.

### iii. Site Landscaping

#### (1) Generally

(a) All new development shall install landscaping on at least 20% of the development site on which buildings are constructed. This is inclusive of landscaping required for parking lots, and landscaping within required buffer areas. Landscaping may include courtyards, raised beds and planters, espaliers, arbors and trellises. The landscape plan shall incorporate large-scale evergreen trees such as Douglas fir, western red cedar, hemlock or California incense cedar.

(b) Planting plans shall emphasize development of an informal, natural appearing landscape. This shall be accomplished when a planting plan provides natural groupings of landscape materials. The planting plan shall which utilizes drought resistant plant materials that are either native or have naturalized to the locale.

(c) Existing significant vegetation, which is preserved as part of an approved development application, shall be counted towards fulfillment of this section.

#### (2) Minimum Site Landscape Requirements

Minimum landscaping shall be as follows:

##### (a) Tree Size and Quantity

One tree, a minimum of two to three in. in caliper at four and one-half ft. above grade for every 500 sq. ft. of landscaped area. Where site conditions warrant, evergreen trees such as western red cedar, western hemlock and Douglas fir of at least three in. in caliper and which reach a mature height of at least 70 ft. shall be planted.

**(b) Shrub Size and Quantity**

At least 15 shrubs of a minimum two-gallon in size for every 500 sq. ft. of landscaped area. All remaining areas shall be treated with suitable mulch applied to a depth of no less than three in.

**(c) Irrigation**

All landscaping shall be provided with underground irrigation.

**(d) Street Trees**

**(i)** One street tree shall be provided within or immediately adjacent to the public right-of-way an average of every 30 linear ft. along the entire development site frontage.

**(ii)** Street trees shall be a minimum of three in. in caliper, measured four and one-half ft. above grade when planted. When trees are not planted in a planter strip or landscaped area, tree wells, with approved grates that provide a minimum of 16 sq. ft. of surface area, shall be provided for each tree. Alternative arrangements to a linear street pattern may be implemented at the discretion of the approval authority. Existing preserved trees within 20 ft. of the public right-of-way shall be counted towards fulfillment of this standard.

**(iii)** In order to provide for a more natural and informal setting, groupings of trees may be allowed.

**(e) Exemptions from Street Tree Requirements**

Exemptions from street tree requirements may be granted by the approval authority provided the following conditions exist:

- (i)** Trees would create problems with existing above or underground utilities;
- (ii)** Trees would conflict with clear vision requirements; or
- (iii)** There is inadequate space in which to plant trees.

However, the approval authority may require the applicant to plant street trees elsewhere within the Design District in lieu of trees which would normally be required for a specific development. If trees cannot be planted due to inadequate space or line clearance, the commensurate planting of shrubs or small trees more appropriate to the area may be required.

### **g. ~~Unifying Design Elements~~**

~~Development shall incorporate landscape features which contribute to a unifying design theme and continuity within the West Lake Grove Design District such as paving materials and textures, lighting, street furniture, signage and plant material selection, especially trees.~~

#### **COMMENTARY**

This language was moved into the Purpose statement, which can include discretionary language.

### **h. Preservation of Mature Douglas Fir Trees and Other Significant Vegetation**

- i. Development plans shall preserve existing mature, evergreen trees ~~and other significant vegetation~~ to the extent practicable. For the purposes of this requirement, a “mature” tree is defined as any tree with a DBH of 5 inches or greater, measured 54 inches (4-1/2 feet) above mean ground level at the base of the trunk. It is not practical to preserve existing mature trees where it would prevent development of public streets, utilities, or permitted land uses.
- ii. The approval authority shall have the discretion to allow modifications or require changes to the paving standards, such as the use of pervious surfaces, to preserve mature trees.
- iii. Tree removal shall be mitigated. Where ~~possible~~ practicable, the caliper inches of trees, with a trunk diameter of five in. or greater, which are removed shall be replaced with trees of the same or approved variety, of no less than three caliper in. in diameter each, to equal or exceed the caliper inches of trees removed. Where complete mitigation is not practicable, payment shall be made into the City of Lake Oswego Tree Fund pursuant to LOC [55.02.084\(3\)](#).
- iv. A protection and maintenance plan to promote the continued survival of preserved trees shall be submitted for approval in conjunction with any development application.

### **i. Buffer Areas**

Adjoining residential land uses shall be buffered and screened from land uses within the Design District as follows:

#### **i. Separation by Right-of-Way**

Where the boundary of the West Lake Grove Design District is adjacent to a residential zone but separated by a public right-of-way, buffering requirements shall be met by setback requirements.

#### **ii. Landscape Buffering**

There shall be a minimum 15-ft. wide landscaped buffer along the entire edge of the West Lake

Grove Design District where it abuts a residential zone and along the property boundaries of new commercial and townhome residential development which abuts existing single-family dwellings within the Design District. A buffer area may only be occupied by utilities, screening and landscaping. No buildings, accessways or parking areas shall be allowed in a buffer area except where an accessway has been approved by the approval authority. The buffer area is required to be landscaped as follows:

- (1) One row of two- to three-in. caliper deciduous trees, spaced no more than 15 ft. apart; or one row of evergreen trees not less than six ft. tall and spaced no more than 15 ft. apart, or a mix of evergreen and deciduous trees planted 15 ft. apart.
- (2) Ten shrubs planted a minimum of five ft. from each other which shall attain a height of at least six ft. within three years of planting.
- (3) The remaining area shall be planted in ground cover and mulched with a wood, rock or compost mulch ~~a suitable material~~ to a depth of three in.

### iii. Screening

Screening shall be provided by a six-ft. tall wood or masonry sight-obscuring fence or wall. The unfinished or structural side shall face the use to be screened.

### j. Noise Mitigation

The approval authority shall require a noise mitigation plan when the proposed development is reasonably expected to produce noise that can be heard in the abutting single-family residential districts above ambient residential levels. The development proposal shall incorporate noise reduction designs into construction of the development, and/or provide for additional noise reduction procedures to be implemented in order to reasonably reduce noise from the development so that it cannot be heard in the abutting residential district above ambient residential levels.

### k. Undergrounding of Utilities

All public and private utility services shall be placed underground.

## I. Building Design

### i. Intent

Development which occurs within the West Lake Grove Design District should create an aesthetically pleasing building design through the following design elements:

(1) Architecturally designed structures of high design quality that are in scale with the site, in proportion to similar buildings in the West Lake Grove Design District and which utilize a pleasing variety of harmonious earth and muted tone materials, colors, finishes and textures; and

(2) Orientation of building entrances should conform to the provisions of LOC 50.06.001.5, Commercial, Industrial, and Multi-Family Development Standards for Approval.

(3) Buildings should be architecturally designed with a residential character and theme that reflect the architecture types that are historically indigenous to Lake Grove and Lake Oswego.

#### **COMMENTARY**

Intent language moved from beginning of Section 4. Standard 3 was moved from Elements and Styles below.

#### **i. Elements and Styles**

New buildings in West Lake Grove shall be designed in Arts and Crafts, English Tudor, or Oregon Rustic style, as described and outlined below.

~~Buildings shall be architecturally designed with a residential character and theme that reflect the architecture types that are historically indigenous to Lake Grove and Lake Oswego. Building character should reflect the residential English Country or Cottage style, and borrow from the Arts and Crafts tradition, English Tudor style and the American Rustic style. Elements of these styles which can be used for both residential, office/commercial and commercial uses and major public facility structures within the design district include:~~

- ~~(1) Complex massing;~~
- ~~(2) Asymmetrical composition;~~
- ~~(3) Masonry and wood as exterior cladding materials;~~
- ~~(4) An intimate, pedestrian friendly scale;~~
- ~~(5) Richly textured and visually engaging facades; and~~
- ~~(6) Lush landscaping and border plantings.~~

~~Evaluation of the appearance of buildings and their conformance with these standards shall be based on the quality of design and relationship to the surroundings.~~

## COMMENTARY

Compliance with the Required Design Elements of the Lake Oswego Styles replaces these discretionary standards. These are the same styles as permitted in the Downtown Redevelopment Design District.

### **(4) Arts and Crafts Style Required Design Elements: Structures built according to the Arts and Crafts style shall provide all of the following design elements:**

#### **(f) Massing/Composition:**

- (i) A minimum of one projecting bay, measuring at least two feet deep, with associated front gable roof, is required along each street-facing building façade (see Figure 50.11.001-A).**
- (ii) Asymmetrical composition required. This requirement will be met when projecting bays and associated gables are located along the street-facing building façade such that an asymmetrical façade is created (see Figure 50.11.001-B).**
- (iii) Multi-Family Residential and Mixed Use Structures: See LOC 50.06.001.5.c.ii and iii for building articulation requirements.<sup>6</sup>**

#### **(g) Roof Style: Gable roof.**

#### **(h) Roof Pitch: Minimum pitch of 10:12. Dormers are exempt from this requirement.**

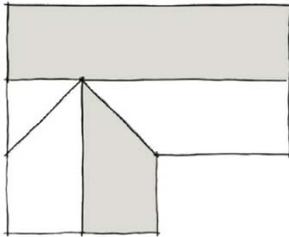
#### **(i) Exterior Building Materials: Stucco, shingle, brick, stone, horizontal wood or wood/fiber-based horizontal siding (or a combination thereof).**

#### **(j) Windows: Casement and sash windows with multi-paned glazing. Picture windows are permitted on the ground floor only. "Snap on," surface-applied window mullions are prohibited (simulated divided light windows wherein the mullion is integral to the window assembly are permitted).**

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<sup>6</sup> Building articulation requirements noted here are cross referenced in order to draw attention to additional massing requirements within the Building Design Standards in 50.06.001.5, since massing is regulated in two different places.

**Figure 50.11.001-A:**  
**Arts and Crafts Style Massing/Composition**



Rectangular plan with minimum of one projecting bay

**Figure 50.11.001-B:**  
**Asymmetrical Composition Required**



Asymmetrical composition

**Additional Design Elements:** In addition to the Required Design Elements, above, structures built according to the Arts and Crafts style in the Downtown Redevelopment Design District are encouraged to provide some or all of the following design elements:

**(6) Roof Style:**

- (c) Dormers
- (d) Intersecting or multiple gable dormers or roof forms.

**(7) Materials:** Simplified English vernacular elements such as simulated half-timbered walls.

**(8) Windows:**

- (c) True divided light, multi-paned windows, in which individual sheets of glazing are provided between mullions (as opposed to simulated divided lights).
- (d) Segmental and round arched openings used for accent.

**(9) Molding:** Minimum 3.5 inch wide trim on doors and windows.

**(10) Other Elements:** Prominent stone or masonry chimneys.

**iv. English Tudor Style Design Elements**

**(c) Required Elements.** Structures built according to the English Tudor style in the Downtown Redevelopment Design District shall provide the following design elements:

(vi) Massing/Composition: Multi-Family Residential and Mixed Use Structures: See LOC 50.06.001.5.c.ii and iii for building articulation requirements.<sup>7</sup>

(vii) Roof Style: Gable roof.

(viii) Roof Pitch: Minimum pitch of 10:12. Dormers are exempt from this requirement.

(ix) Exterior Building Materials: Brick, stucco, and/or stone.

(x) Windows: Multi-paned picture, bay, oriel, casement, and/or dormer windows. “Snap on,” surface-applied window mullions are prohibited (simulated divided light windows wherein the mullion is integral to the window assembly are permitted).

(d) **Additional Design Elements:** In addition to the Required Design Elements, above, residential and residential mixed-use structures built according to the English Tudor style in the Downtown Redevelopment Design District are encouraged to consider providing some or all of the following design elements:

(x) Roof Style: Double gable roof forms and/or dormers.

(y) Windows:

(iii) True divided light, multi-paned windows in which individual sheets of glazing are provided between mullions (as opposed to simulated divided lights).

(iv) Leaded glass windows.

(z) Building Materials:

(iii) Complex brick courses. Acceptable brick courses include running bond, common bond, Flemish, and English bond patterns.

(iv) Imitation half-timbering

(aa) Molding: Minimum 3.5 inch wide trim on doors and windows. Trim should be of a contrasting color to the adjacent building wall. Brick buildings may provide contrasting stone moldings. Decorative trims are also encouraged.

(bb) Other Elements:

(iii) Prominent stone or masonry chimneys.

(iv) Tudor-arched (as illustrated in the 1650 North Shore example) or round-arched openings, particularly in the entrance door.

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<sup>7</sup> Building articulation requirements noted here are cross referenced in order to draw attention to additional massing requirements within the Building Design Standards in 50.06.001.5, since massing is regulated in two different places.

**v. Oregon Rustic Style Design Elements:**

(c) **Required Design Elements:** Structures built according to the Oregon Rustic style in the Downtown Redevelopment Design District shall provide the following design elements:

(vii) Massing/Composition:

(i) A minimum of one projecting bay, measuring at least 2 feet deep, with associated roof form, is required along the front building façade (see Figure 50.11.001-C).

(ii) Asymmetrical composition required. This requirement will be met when projecting bays and associated gables are located along the front building façade such that an asymmetrical front façade is created (see Figure 50.11.001-D).

(iii) Multi-family residential and mixed use Structures: See LOC 50.06.001.5.c.ii and iii for building articulation requirements.

(viii) Roof Style: Hipped and/or gable roofs (may be used in combination).

(ix) Roof Pitch: Minimum pitch of 5:12.

(x) Eaves: Minimum eaves of 18 inches.

(xi) Exterior Building Materials: Wood logs (unpeeled or half rounded) applied as siding, horizontal lap siding, board and batten, shingled siding, or combinations thereof. Stone (including river boulders) may be used in foundations or as siding for first-floor levels.

(xii) Windows: Multi-paned windows required. "Snap on," surface-applied window mullions are prohibited (simulated divided light windows wherein the mullion is integral to the window assembly are permitted).

(d) **Additional Design Elements:** In addition to the Required Design Elements, above, residential and residential mixed-use structures built according to the Oregon Rustic style in the Downtown Redevelopment Design District are encouraged to consider providing some or all of the following design elements:

(v) Windows:

(i) True divided light, multi-paned windows in which individual sheets of glazing are provided between mullions (as opposed to simulated divided lights).

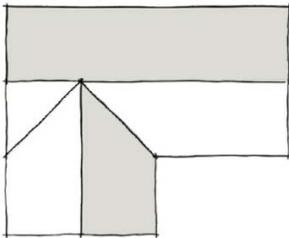
(ii) Functional shutters.

(vi) Molding: Minimum 3.5 inch wide trim on doors and windows. Molding should be simple, square cut, or single-angle cut trim. Carved accents such as newel posts, exterior banisters, railing, etc. are also encouraged.

(vii) Building Materials: Natural or clear wood finishes (instead of opaque paint)

(viii) Other Elements: Prominent stone chimney.

**Figure 50.11.001-C:**  
**Oregon Rustic Style Massing/Composition**



Rectangular plan with minimum of one projecting bay

**Figure 50.11.001-D:**  
**Asymmetrical Composition Required**



Asymmetrical composition

## ii. Design Standards

The following building design standards shall apply to all ~~office and neighborhood~~ commercial development which occurs within the West Lake Grove Design District. Monotony of design in single or multiple building projects shall be avoided. Variation of detail, form, and siting shall be used to provide visual interest as follows:

~~(1) No continuous blank walls shall be allowed along pedestrian and vehicular ways and shall not exceed 25 linear ft. without recess or change of plane. Pursuant to Figure [50.05.005-K: Building Window Openings and Blank Walls](#), at least 50% of the ground floor walls within the WLG-OC zone shall consist of windows. Windows types shall consist of double hung or divided lights. Large plate glass windows and simulated divided lights are not allowed.~~

### **Figure 50.05.005-K: Building Window Openings and Blank Walls**

**COMMENTARY**

This standard applies to the WLG OC zone. Since the clear and objective standards are only available to development with a residential component, and residential uses are not currently permitted in this zone, the standard can be removed.

~~2) Buildings shall use materials that are architecturally harmonious for all walls and exterior components. Materials shall be durable and of high quality.~~

**(a) Permitted Exterior Materials**

- (i) Wood shingle,
- (ii) Brick,
- (iii) Stone-granite or concrete at street level only for WLG Office Commercial,
- (iv) Horizontal lap siding, and
- (v) Stucco and timbers on gable ends only.

**(b) Prohibited Exterior Materials**

- (i) EIFS or other synthetic stucco material,
- (ii) Metal panels,
- (iii) Flagstone,
- (iv) Plywood paneling,
- (v) Vinyl cladding,
- (vi) Composite wood siding of any kind,
- (vii) Mirrored glass,
- (viii) Standard form concrete block (not including split faced, colored or other block designs, which mimic stone, brick or other masonry), and
- (ix) Back-lighted fabrics.

~~(3) Buildings which abut the office and neighborhood commercial zones shall incorporate a~~

combination of the following design elements to foster a comfortable and interesting pedestrian experience:

- ~~(a) Modulations of scale,~~
- ~~(b) Definitive indoor-outdoor relationships,~~
- ~~(c) Harmonious materials and earth and muted tone colors and compatible color accents, and~~
- ~~(d) Outdoor lighting and other design treatments.~~

~~Other architectural features such as awnings, arcades, bay windows, and projecting balconies shall be required.~~

**COMMENTARY**

All of these concepts are covered by the zone-specific standards for West Lake Grove.

**(4)** Pitched roofs are required and include pitched gable end or hipped roofs. Small areas of flat roof not visible by the public or from adjoining residential areas ~~may be~~ are allowed where necessary to accommodate mechanical equipment.

**(5)** Roof materials shall consist of either cedar shingles or three tab composite shingles in dark grey, green or black colors. Metal roofs, colored roofs (red, blue or tan colors), and mansard or decorative roof forms are prohibited.

**(6)** Building entrances shall be connected to a public sidewalk via a hardscaped pedestrian path. Building entries shall be weather protected by structurally integrated awnings or canopies, or recessed behind the front building façade a minimum of two feet. ~~located for visibility and ease of pedestrian use. Entrances to upper floors shall be located so as not to conflict with street level activities and pedestrian use.~~

**(7)** Building vents and mechanical devices shall be screened from view with materials harmonious to the building. This shall be accomplished by using the same materials and/or colors as used on the building, or by using accent materials and/or colors from the building. Exterior site elements such as storage, trash collection areas and noise generating equipment shall be located away from abutting residential districts and sight-obscuring fencing and landscaping shall be used to screen and buffer these features.

~~**(8)** Building components, such as windows, doors, eaves and parapets, shall have proper proportions and be placed in relationship to one another.~~

~~(9) Exterior building lighting shall be designed as part of the architectural concept. Fixtures, standards and exposed accessories shall be of the proper scale and compatible with the building and overall site design.~~

(10) Rain protection is encouraged throughout the Design District and shall be afforded to the WLG RMU zone pursuant to Figure [50.05.005-L](#): Building Rain Protection. Rain protection shall consist of fabric awnings or metal canopies. Vinyl awnings are prohibited.

**Figure 50.05.005-L: Building Rain Protection**

(Not included for purposes of draft)

**m. Street and Pathway Lighting**

Street and pathway lighting shall be provided per Figure [50.05.005-M](#): Required Street Lighting. Street and parking lot lighting shall consist of historic style fixtures. Cobra-head and contemporary fixtures are prohibited.

**Figure 50.05.005-M: Required Street Lighting**

(Not included for purposes of draft)

**i. Street Lighting**

Providence style LED street light fixtures are required along Boones Ferry. Fixture spacing is required based on a photometric analysis that meets a minimum standard for roadway lighting along a Minor Arterial as specified in LOC 50.06.004-6.

~~Additional street lighting on Boones Ferry Road made necessary by new development shall be determined by the approval authority, who may require a street lighting study commensurate with a development review application to determine the appropriate level of lighting.~~

**ii. Lighting of Sidewalks, Public and Private Pathways, and Accessways**

Low level pedestrian-scale lighting of less than 0.3 average foot-candles and with a maximum uniformity of illumination ratio not to exceed 20:1 shall be required. On-site lighting shall be of a pedestrian scale and of a continuous style that is maintained throughout the Design District.

**iii. Lighting Equipment**

~~All street and pathway lighting equipment shall be approved by the approval authority.~~

**iv. Shielding of Lighting from Adjoining Properties**

Lighting shall be designed so that light is directed away and screened from adjoining residential properties and/or streets.

**n. Outdoor Storage**

No outdoor storage is allowed.

**o. Stormwater Management**

Storm drainage and surface water management facilities shall be required pursuant to LOC [50.06.006.3](#), Drainage Standards, and shall ensure stormwater is not directed onto adjacent residential neighborhoods.

**5. DESIGN STANDARDS FOR THE RESIDENTIAL MIXED USE (WLG RMU) ZONE**

**a. Purpose**

The purpose of this zone is to provide for the development of office commercial land uses along with opportunities for attached townhome residential housing. Housing may occur in the same building as office uses. The design character and theme of this district is intended to foster a residential architectural character, site design, and scale. Development within this district shall create viable pedestrian-scale streetscapes and public places inclusive of pedestrian ways, parking areas, interior courtyards and public and private spaces. These areas shall be designed to foster the comfort and enjoyment of pedestrians and other users. In addition the streetscape/public place shall provide for "layers" of design elements such as benches and walls, landscaping, street trees and walkways. Windows should be numerous and placed at the pedestrian level to provide building occupants with a visual connection to the streetscape/public place.

**COMMENTARY**

The underlined text was moved from b.i. below. The language is discretionary, which is allowed as part of a Purpose statement.

**b. Required Design Elements**

The following design elements are required in the RMU zone:

~~i.—Development within this district shall create viable pedestrian-scale streetscapes and public places inclusive of pedestrian ways, parking areas, interior courtyards and public and private spaces. These areas shall be designed to foster the comfort and enjoyment of pedestrians and other users. In addition the streetscape/public place shall provide for "layers" of design elements~~

~~such as benches and walls, landscaping, street trees and walkways. Windows should be numerous and placed at the pedestrian level to provide building occupants with a visual connection to the streetscape/public place.~~

~~Dwelling units shall provide connections to the streetscape/public place with design elements such as balconies and windows.~~

i. Structures shall comply with the building articulation and building facade requirements in LOC 50.06.001.5.c.ii-iv.

#### **COMMENTARY**

The Building Design requirements in 50.06.001.5.c.ii-iv address the provision building massing and articulation to break up the façade; along with the provision of windows, balconies, roofline features, materials, etc. This replaces the discretionary standards below.

~~ii. Building design shall foster interest and compatibility between adjoining buildings through appropriate scale relationships. This shall be accomplished through a combination of the following:~~

~~(1) Exterior building wall designs that provide distinct and separate areas with balconies and/or dormers;~~

~~(2) Setting back parts of the facade to reduce the mass of large buildings or row of attached dwellings; and~~

~~(3) Architectural features that provide a variety of harmonious colors, textures, material changes in rooflines, eaves, gables, trim details, bay windows, balconies and verandas.~~

~~iii. The expanse of large facades and building planes shall be broken down both horizontally and vertically into smaller units through a mix of the following design elements:~~

~~(1) Recessed or projected entries and porches;~~

~~(2) Mixing roof gables and eaves facing on public sides of the building(s);~~

~~(3) Appropriate use of windows to provide scale;~~

~~(4) Dormers to break up roof expanses; and~~

~~(5) Balconies.~~

## **6. DESIGN STANDARDS FOR THE OFFICE COMMERCIAL (WLG-OC) ZONE**

**COMMENTARY**

Housing is not currently permitted in this zone, so Clear and Objective Housing Standards do not need to be provided. This section is not included in the draft.

**7. DESIGN STANDARDS FOR THE RESIDENTIAL TOWNHOME (WLG R 2.5) ZONE**

**a. Purpose**

The purpose of this zone is to provide for the development of medium density townhome residential housing. The design character and theme of this zone is intended to foster a residential architectural character, site design and scale which is harmonious with the surrounding office, commercial and single-family residential districts. Future development in this zone shall create a viable pedestrian-scale streetscape, or public place which includes pedestrian ways, parking areas, interior courtyards and public and private spaces which are designed to foster the comfort and enjoyment of pedestrians and other users.

**COMMENTARY**

The underlined text above has been moved from b.i. below. The language is discretionary, which is allowed as part of a Purpose statement.

**b. Design Elements**

i. Structures shall comply with the building articulation and building facade requirements in LOC 50.06.001.5.c.ii-iv.

**COMMENTARY**

The Building Design requirements in 50.06.001.5.c.ii-iv address the provision building massing and articulation to break up the façade, along with the provision of windows, balconies, roofline features, materials, etc. This replaces the discretionary standards in ii-iv below.

~~i. Future development in this zone shall create a viable pedestrian-scale streetscape, or public place which includes pedestrian ways, parking areas, interior courtyards and public and private spaces which are designed to foster the comfort and enjoyment of pedestrians and other users.~~

~~ii.—The streetscape/public place shall provide for "layers" of design elements such as benches, walls, landscaping, street trees and walkways.~~

~~iii.—Building design shall foster interest and compatibility between adjoining buildings through appropriate scale relationships. This shall be accomplished through a combination of the following design elements:~~

~~(1)—Exterior building wall designs that provide distinct and separate areas with balconies and/or dormers;~~

~~(2)—Setting back parts of the facade to reduce the of a row of attached dwellings; and~~

~~(3)—Architectural features that provide a variety of harmonious colors, textures, material changes in rooflines, eaves, gables, trim details, bay windows, balconies, porches and verandas.~~

~~iv.—The expanse of large facades and building planes shall be broken down both horizontally and vertically into smaller units through a mix of the following design elements:~~

~~(1)—Recessed or projected entries and porches;~~

~~(2)—Mixing roof gables and eaves facing on public sides of the building(s);~~

~~(3)—Appropriate use of windows to provide scale, where the amount of fenestration or glazing shall be proportional to the mass of the building facade;~~

~~(4)—Dormers to break up roof expanses; and~~

~~(5)—Balconies or projected bays.~~

## **8. DESIGN STANDARDS FOR THE RESIDENTIAL LIVE/WORK (WLG-RLW) ZONE**

### **COMMENTARY**

This zone was never applied to the zoning map, so Clear and Objective Housing Standards were not developed for this zone.