

Old Town Neighborhood Association

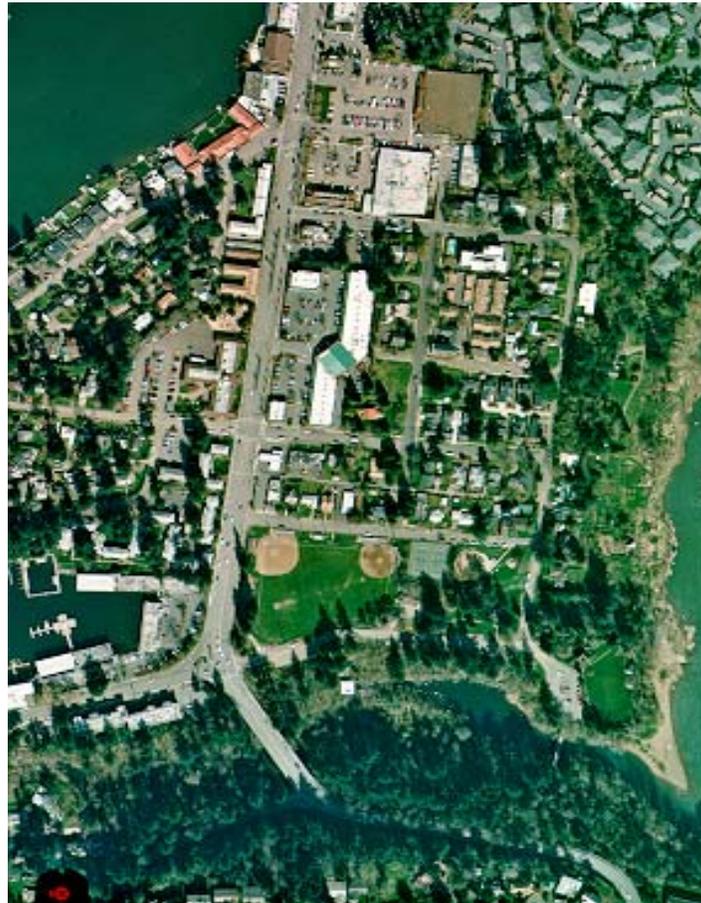


Neighborhood Plan 1998

A COOPERATIVE EFFORT BETWEEN
THE OLD TOWN NEIGHBORHOOD ASSOCIATION AND
THE CITY OF LAKE OSWEGO



Old Town Neighborhood Plan 1998



(Aerial Photo 1998)

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Old Town Neighborhood Plan

Introduction and Intent

Neighborhood Planning Program:

In 1993, the City Council adopted a Neighborhood Planning Program to provide neighborhoods in Lake Oswego an opportunity to develop a vision and corresponding goals and policies relating to land use, building and site design and capital expenditures. The Neighborhood Planning Program was designed to go beyond the general guidance provided by the Comprehensive Plan goals and policies, in order to address more localized and specific neighborhood needs.

Background and Process:

The Old Town Neighborhood Association has had goals and policies since 1982, when the City adopted the “Design District” zoning for the area. It was realized that as the neighborhood transitioned from a medium density, primarily single family area to higher density with a broader range of allowed housing choices, that existing lower density uses would need protections. These safeguards included, at the time, review by the Development Review Commission (DRC) of all exterior modifications needing a building permit, additional setbacks for new structures when abutting lower density uses and encouraging good architectural design and site planning.

Since 1982, these policies have been periodically updated. Changes made in 1996 focused on recognizing how the neighborhood had evolved over the past fourteen years and addressed residents’ concerns about the time and expense involved in processing simple additions and remodels of existing homes. Changes were made limiting review by DRC to new structures, rather than all exterior modifications. At that time, it was also recognized that simply encouraging “good architectural design” was not adequate to ensure that new development would be compatible with the design and scale of the existing neighborhood character.

The Neighborhood Association Board responded to this concern by appointing a seven-member Design Subcommittee to develop draft design standards for general neighborhood association review. This group began by identifying several housing architectural styles in the neighborhood that it felt provided the “village” atmosphere that it desired to preserve. City staff worked with the neighborhood to come up with three “Old Town Styles” which new buildings could “borrow” from to create desirable new residential design. Since the neighborhood contains one of the highest concentrations of pre-1900 buildings in the City, the scale and style of these structures was a primary consideration. The purpose of the resulting standards is to “develop a cohesive and orderly relationship between existing and proposed buildings in the Old Town Neighborhood by providing visual connections defined by the predominant architectural characteristics of the Old Town Styles. Copying the existing building styles is not the intention of these guidelines. While a new development may have a distinctive identity, its overall effect should support and reinforce the Old Town Styles.”

Other changes adopted in 1997 included allowing the City Manager to request an advisory opinion from the OTNA Board, allowing a reduction to the front yard setback along Durham

Old Town Neighborhood Plan

Introduction and Intent

Street to support the overall intent of making Durham the neighborhood's primary "walking street," limiting the amount of impervious surface allowed on a lot, reducing the allowed height of structures under certain conditions and requiring application of the Design Standards for new development or expansion of structures by more than 50% floor area.

The Neighborhood met at three general meetings to discuss the proposed Design Standards and other Comprehensive Plan, Zoning Code and Development Code and Standards changes. The Board and/or Design Committee met 10-12 times to discuss the proposed changes. The membership voted to support the proposed amendments with several minor changes.

Old Town Plan Organization

The Old Town Plan contains several sections:

- Background/Perspective. The Background/Perspective illustrates the overall vision the neighborhood sees for itself.
- Comprehensive Plan Goals and Policies. The goals and policies correspond to and develop the vision outlined in the Perspective. These have been adopted as part of the City's Comprehensive Plan. Goals are stated in the broadest terms, usually a broad description of what the neighborhood is striving for. Policies state the neighborhood's strategies for specific issue areas or groups of issues, such as neighborhood character, street character and land use. Policies are more specific than Goals, but not so specific as to be decision making criteria (which are contained in the Zoning Code, Development Code or Design Standards).
- Applicable Zoning Code Sections. The Zoning Code sections include those that apply specifically to the DD Zone, which includes all of the Old Town Neighborhood.
- Applicable Development Code Sections. The Development Code sections include those that apply specifically to the DD Zone.
- Development Standard 24, Old Town Development Standard. This Development Standard outlines neighborhood architectural styles to be used as guides for new development to provide more cohesive and orderly relationships between existing and proposed buildings in Old Town.
- Development Standard 18, Access. This Standard was amended to add the DD zone to the list of zones for which the required amount of lot frontage on a public street may be 17 feet.

Old Town Neighborhood Plan

Background/Perspective

The Old Town Neighborhood lies between State Street, the Willamette River, Oswego Creek and Leonard Street. Although geographically one of the City's smallest neighborhoods, it is the location of the original town of Oswego, and is the oldest portion of the City. Old Town contains several different types of land uses, including George Rogers Park, multi-family and single family dwellings and an array of shopping provided by two nearby shopping centers, within an area of less than 40 acres. Platted in 1851 by Albert Durham, the streets carry the names of people associated with the early iron industry such as Ladd, Leonard and Wilbur, as well as early settlers, such as Albert Durham, who founded the community.

George Rogers Park is located in the southern portion of the neighborhood. This area was the original site of the iron smelting business which operated in the community in the late 19th and early 20th centuries. A portion of the company's large basalt chimney still stands in the park. Several small dwellings from this era also remain, constructed by the Oregon Iron and Steel Company for its employees. The Odd Fellows Hall at Durham and Church streets also dates back to this early period.

Maintaining the neighborhood's character has been a concern of residents, particularly over the past 20 years. As the area's zoning allows for approximately 20 units per acre, single family homes have gradually been replaced by apartments, duplexes and other types of more dense housing. Often new structures and remodeling have not been compatible in scale, form and massing to the existing housing stock. This has lead the neighborhood to develop Comprehensive Plan policies and design and zoning standards to ensure that the neighborhood's transition to higher density occurs in such a way that the desirable "village" appearance is preserved.

The mix of uses in and near the neighborhood, its proximity to good transit service on State Street and its location near George Rogers Park, make Old Town an attractive place to live. Although residents view these facilities and uses as valuable assets, they at times result in conflicts with residential uses in the neighborhood, primarily with regard to traffic and parking.

Old Town would like to retain its generally narrow streets and few remaining alleys to discourage auto through-traffic and provide opportunities for alternate access to garages. The neighborhood would also like to encourage the use of Durham Street as a walking street by connecting sidewalks, restricting truck usage and maintaining appropriate lighting.

The Old Town of the future will likely posses a higher level of activity due to the increased usage of commercial outlets, a gradual move to higher density and increased park usage. The favorable elements outlined in the preceding paragraph will be integrated to ensure increased walking, rather than driving, within the neighborhood; ensure new structures that complement the existing neighborhood fabric; protect lower density developments from more intense adjacent uses; and minimize the visual impact of garages.

Old Town Neighborhood Plan

Goals, Policies and Recommended Action Measures

GOALS:

1. Assure that single family homes are protected during the area's transition to higher density residential use;
2. Facilitate good architectural design and site planning which maintains residential choices of unit size, cost and other amenities and supports the economic feasibility of new construction and development;
3. Assure protection and compatibility of all land uses, including commercial, residential, park, open space and historic sites.
4. Assure that adequate methods in addition to present city ordinances are available to carry out the design policies for Old Town's particular needs, and;
5. Designate the Old Town Neighborhood as a "Design District" on the Comprehensive Plan Map and guide its development in accord with the following policies:

POLICIES:

1. Designate Old Town as a "Design District" and guide its development in accord with the policies in this chapter.

2. Boundary

The boundaries of the District shall be as shown on the official Lake Oswego Comprehensive Plan map (PA 5-84-151). When considering Comprehensive Plan Map amendments, existing neighborhood character shall be preserved as much as possible. (See Map - Figure 1)

3. Residential Land Use

Generally, and in accordance with the policies of this plan, Old Town shall become higher density land use. However, existing neighborhood character shall be preserved as much as possible.

- a. Single-Family Housing

Single-family housing, while not exclusive of other types of housing, shall have priority. Therefore, single family housing shall be preserved and steps taken to preserve its amenities and value.

Where higher density land use is developed, special attention should be given to insuring that it will not adversely affect neighboring single family development.

Old Town Neighborhood Plan

Goals, Policies and Recommended Action Measures

Single-family homes and new development shall be protected from the deteriorating effects of adjacent land uses, including in particular the commercial areas, and any open space areas which may be established. Particular attention shall be given to the effects of traffic, parking, noise, glare, air pollution and appearance of structures.

New single-family construction shall be permitted on the existing platted 5,000 square foot lots.



The Mediterranean style George and Lottie Rogers House (1929), is a focal point in the Old Town Neighborhood. George Rogers owned and operated a grocery store on State Street for over 20 years and served on the City Council for many years. In 1961, the City named a 27 acre park, also located in the neighborhood, after him.

b. Multi-Family Residential

Multi-family use shall be permitted when it can be clearly demonstrated that other Old Town policies are being met by the proposal.

Duplexes shall be permitted on the existing platted 5,000 square foot lots. Innovative design shall be encouraged to create duplexes which are compatible and harmonious with adjacent land uses.

Old Town Neighborhood Plan

Goals, Policies and Recommended Action Measures

Several medium density multi-family developments exist in the neighborhood and blend well due to adequate setbacks, mature landscaping and compatible scale.



c. Residential Design Policy

New residential construction of all types shall be encouraged.

As noted under the Design District policies, all new construction of single family, duplex, zero lot line, multi-family dwellings, and exterior modification to a structure housing a non-conforming use that requires a building permit, shall be subject to Development Review.

Care should be taken to maintain certain existing physical attributes of the neighborhood which contribute to its special character, including but not limited to, unusual or special trees, landscaping, buildings and views.



A newer duplex in Old Town was sensitively designed for compatibility with other vernacular style structures in the neighborhood. Recessed garages, narrow setbacks and a sidewalk, create a pedestrian friendly atmosphere along Durham Street, Old Town's primary "walking street."

Old Town Neighborhood Plan

Goals, Policies and Recommended Action Measures

4. Commercial Land Uses

The boundary between R-0 and EC designated and shall be shown on the official Lake Oswego Comprehensive Plan Map.

- a. Any development in the adjacent EC zone shall provide a landscaped buffer-to function as a visual and physical barrier between dissimilar uses in the EC and DD zones.
- b. Traffic shall be routed away from residential properties. This may be accomplished by such methods as careful location of access points, traffic routing within the development, and relations of that routing to neighboring residential uses and streets and installation of any required capital improvements such as left turn lanes. Traffic studies maybe required to determine impacts.
- c. Replacement of non-conforming uses with permitted residential uses is strongly encouraged.

5. Streets

Through-traffic and circulation will be minimized, and the use of Wilbur Street as the principal access to the neighborhood, will be encouraged.

a. State Street

Provisions shall be made to make entering and exiting Old Town onto State Street as safe as possible.

A combination of landscaping, sidewalks, a wider curb lane and smaller building setbacks, enhance the atmosphere and usability of State Street for pedestrians and bicyclists.



Old Town Neighborhood Plan

Goals, Policies and Recommended Action Measures

b. State Street/McVey/Green Street

This intersection shall be improved to increase safety of turning movements and pedestrian safety on State Street to and from George Rogers Park, as well as to provide access to George Rogers Park for vehicles traveling southbound on State Street.



Alleys provide an opportunity to put garages to the rear of homes, allowing the more “social” aspects of the home to front the street. This fits well with Old Town residents’ desire to encourage walking by making the streetscape more comfortable for pedestrians. Alley-accessed garages relieve the street from being dominated by garage doors and cramped by curb cuts, which can reduce opportunities for on-street parking.

c. Ladd Street

The use of the north side of Ladd Street as a parking area for George Rogers Park should be discouraged, or steps taken to eliminate the inconvenience and disturbance to residences on Ladd Street.

d. Durham Street

The City shall encourage Durham Street to become a safe and pleasant walking street within the neighborhood through the addition of connected, handicapped access sidewalks, restrictions on truck usage, storm drainage improvements as necessary and appropriate lighting.

6. Historic Sites

Protect the historical or architectural integrity of the Peg Tree (Douglas Fir), Odd Fellows Hall and George Rogers' home, as Local Historic Landmarks.

Old Town Neighborhood Plan

Goals, Policies and Recommended Action Measures

7. George Rogers Park

Use of the park facilities should not interfere with normal residential uses in the adjacent neighborhood. Design or expansion of the park, which is a City facility serving all City residents, should be carried out with attention to the Old Town area, especially with regard to traffic, visual appearance, parking, noise, glare and behavior of park users. Green Street should be recognized as the primary auto access to George Rogers Park and steps should be taken to encourage auto access on Green Street.

The chimney stack in George Rogers Park is all that remains of the iron smelter built in 1865. The furnace produced the first pig iron west of the Rocky Mountains. The chimney is listed on the National Register of Historic Places.



8. Development Review

Consideration shall be given to the relationships between new construction and adjacent land uses as well as to how the proposed development incorporates the desirable “small village” or “historic town” appearance of Old Town as illustrated in its pitched roofs, wood and masonry construction materials, and building proportions and massing typical of the Vernacular, Craftsman and Cape Cod styles.

9. Parcel Size

Residential single family construction is to be permitted on lots or parcels of 5,000 square feet or more. The Development Review process should take account of the unusually small area of the lots in providing variances which may be requested for new single family uses. 12/28/82

Old Town Neighborhood Plan

Goals, Policies and Recommended Action Measures

Duplexes are to be permitted on lots or parcels of 5,000 square feet or more. Except for structures which have been determined by the State or the National Register of Historic Places as being of historic significance, multi-family construction is to be permitted on lots or parcels of a minimum of 15,000 square feet, which would allow seven units. Smaller parcels should be used for duplex or single family. The parcels should be shaped to minimize the number and length of property interfaces between adjacent uses to assure buffering landscaping can be installed.

Historic structures may be converted to residential use. No minimum parcel size shall apply, but the project shall demonstrate compliance with all other applicable zoning requirements and development standards. (PA 1-87-450, 7/9/87)



The Odd Fellows Hall on Durham Street is an example of successful redevelopment of a historic resource within Old Town. Vacant for many years, the structure (on right) was remodeled to accommodate several housing units. The new structure (on left) also contains housing, and was designed to be compatible with the Odd Fellows Hall. This adaptive reuse is nothing new for a structure which has been a fraternal hall, a doctors office, a drugstore and a community theatre.

Old Town Neighborhood Plan

Goals, Policies and Recommended Action Measures

10. Willamette River Greenway Access

Encourage the use of Furnace and Leonard Streets as pedestrian and bicycle connections to the existing Greenway trail. This policy is not intended to supersede or weaken Goal 15 (Willamette River Greenway) Policy 8 or Goal 15 RAM iii, which call for acquisition and development of continuous public access along the Greenway, including the Greenway area from Roehr Park to George Rogers Park in Old Town. This policy is intended to protect the privacy and security of existing single-family waterfront residences until such time as the Greenway pathway may be acquired through development to higher density/intensity uses, voluntary donation or purchase.



Pedestrian access to the Willamette River is available through George Rogers Park in Old Town. A pathway from Oswego Creek, south, to Old River Road, also provides a visual connection to the river.

Old Town Neighborhood Plan

General Commentary on Goals, Policies and Recommended Action Measures:

According to the Adopted Lake Oswego Comprehensive Plan, Goals, Policies and Recommended action Measures each have a different purpose in terms of describing policy direction. Old Town members and City staff need to keep in mind the purposes of various types of statements while developing the Old Town Neighborhood Plan language. In a nutshell, Goals are to be in the broadest terms, usually a broad description of what the neighborhood is striving for. Policies are more specific, but not so specific as to be like decision making criteria (which would belong in an ordinance or standard). Recommended action measures are simply “good ideas” and are not obligatory. The following is excerpted from the Plan:

Goal:

Definition - A general Statement indicating a desired end, or the direction the City will follow to achieve that end.

Obligation. The City cannot take action which violates a goal statement unless:

1. Action is being taken which clearly supports another goal.
2. There are findings indicating the goal is being supported takes precedence (in the particular case) over another (goal).

Policy:

Definition - A statement identifying Lake Oswego’s position and a definitive course of action. Policies are more specific than goals. They often identify the City’s position in regard to implementing goals. However, they are not the only actions the City can take to accomplish goals.

Obligation - The City must follow relevant policy statements when amending the Comprehensive Plan, or developing other plans ordinances which affect land use such as public facility plans, and zoning and development standards or show cause why the Comprehensive Plan should be amended consistent with the Statewide Land Use Goals. However, in the instance where specific plan policies appear to be conflicting, the City shall seek solutions which maximize each applicable policy objective within the overall context of the Comprehensive Plan and Statewide Goals. As part of this balancing and weighing process, the City shall consider whether the policy contains mandatory language (e.g., shall, require) or more discretionary language (e.g., may, encourage).

Recommended Action Measures:

Definition - A statement which outlines a specific City project or standard, which if executed, would implement goals and policies.

Old Town Neighborhood Plan

General Commentary on Goals, Policies and Recommended Action Measures:

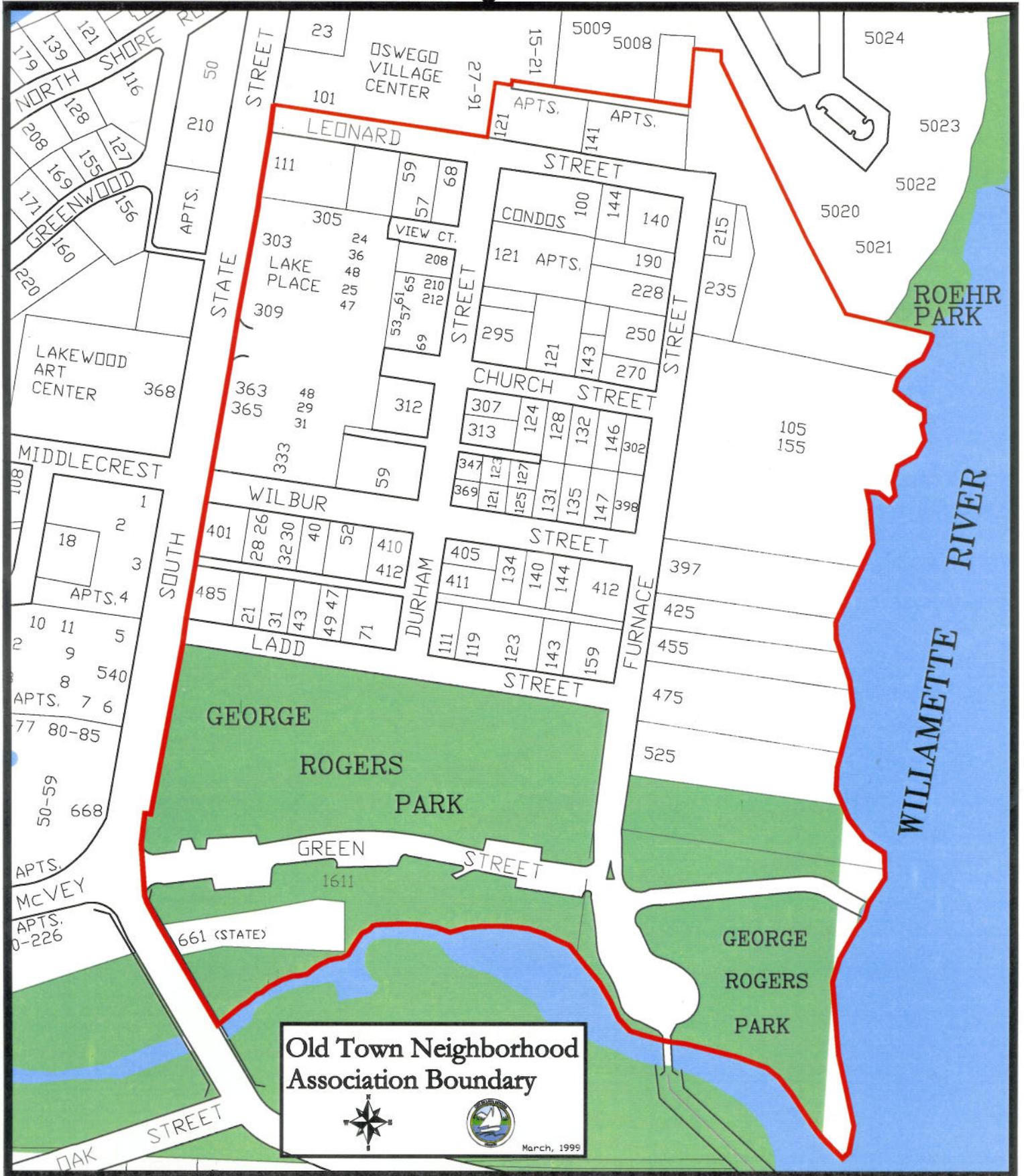
Obligation: Completion of projects, adoption of standards, or the creation of certain relationships or agreements with other jurisdictions and agencies, will depend on a number of factors such as citizen priorities, finances, staff availability etc.

The City should periodically review recommended action measures to determine which are a priority to be accomplished in view of current circumstances, community needs and the City's goal and policy obligations.

These statements are suggestions to future City decision-makers as ways to implement the goals and policies. The listing of recommended action measures in the plan does not obligate the City to accomplish them. Neither do recorded action measures impose obligations on applicants who request amendments or changes to the Comprehensive Plan.

NH-Assoc/Old Town/Neighborhood Plan/Perspect.doc

Figure 1



Old Town Neighborhood Plan

APPENDIX I

Article 48.08. Design District (Old Town).

- 48.08.240. Purpose.**
- 48.08.245. Permitted uses.**
- 48.08.250. Conditional Uses.**
- 48.08.255. Lot Size, Lot Dimensions,
Density.**
- 48.08.260. Setback Requirements, Buffers.**
- 48.08.265. Height of Structure.**
- 48.08.270. Lot Coverage.**
- 48.08.275. Development Review.**
- 48.08.276. Old Town Advisory Opinion.**
- 48.08.280. Allowable Density and Density
Transfer.**

48.08.240. Purpose.

1. The purpose of this district is to assure that single-family homes are protected from noise, light, glare and reduction in privacy to the maximum extent possible during the area's transition to higher density residential use, to facilitate good architectural design and site planning which maintains residential choices of unit size, cost and other amenities and supports the economic feasibility of new construction and development, and to assure protection and compatibility of all land uses, including commercial, residential, park, open space and historic sites.

2. The DD zone is intended for use in low density residential districts which are undergoing transition to increased densities, and which have scenic, historic, natural or residential features which should be preserved and integrated with the new development. (Ord. No. 1851, Sec. 1; 11-16-82.)

48.08.245. Permitted uses.

Uses permitted in the DD zone are as follows:

1. Single-family dwelling.
2. Zero lot line dwelling.
3. Duplex.
4. Multiple dwelling.
5. Raising of vegetables and produce, provided no sales office is maintained on the premises.
6. Home occupations.
7. Minor public facilities, including collocated telecommunications facilities but excluding new telecommunications facilities.
8. Request for up to a 25% density bonus for public agency rental housing projects (not special use housing or secondary dwelling units.)
9. Cluster developments.
10. Group care facilities.
11. One secondary dwelling unit per lot.

12. Special use housing.

(Ord. No. 1851, Sec. 1; 11-16-82. Ord. No. 1882, Sec. 9; 3-6-84.)

(Ord. No. 2149, Amended, 04/17/97)

48.08.250. Conditional Uses.

Conditional uses in the DD zone are as follows:

1. Institutional uses.
2. Major public facilities.
3. Nursing and convalescent homes.
4. New Telecommunications Facilities.
5. Non-profit office uses in structures on the City's Historical Landmarks List which are located on arterial streets. For the purposes of this section, "office uses" include business and management services, except for medical or dental offices. (Ord. No. 1851, Sec. 1; 11-16-82. Ord. No. 1882, Sec. 10; 3-6-84.) (Ord. No. 2149, Amended, 04/17/97; Ord. No. 2167, Amended, 05/19/98)

48.08.255. Lot Size, Lot Dimensions, Density.

1. The minimum lot area shall be 5,000 sq.ft. for single-family dwellings or duplexes.

2. Except for structures which have been determined by the State or the National Register of Historic Places as being of historic significance, the minimum lot area for a multiple dwelling development shall be 15,000 sq.ft.

3. (a) The maximum density for each site in the Old Town Design District, expressed in number of dwelling units per net developable acre is computed by dividing the net developable acreage by 2,000 sq.ft. and rounding down to the nearest whole number.

(b) The actual density allowed on a site will be determined at the time of development review, pursuant to LOC Ch 49. Maximum density will be allowed to the extent that facts presented to the hearings body show that development at that density can occur within requirements set forth in the Development Standards.

4. For projects on properties subject to an RP or RC designation, lot areas may be modified as provided in LOC 48.117.115.

(Ord. No. 1851, Sec. 1; 11-16-82. Ord. No. 1882, Sec. 11; 3-6-84. Ord. No. 1951, Sec. 1; 7-21-87.)

(Ord. No. 2148, Amended, 07/22/97)

48.08.260. Setback Requirements, Buffers.

1. Except as otherwise provided in this section or LOC 48.20.535, the required setback in the DD zone is 10 feet.

2. Structures shall be setback from a street right-of-way line a minimum of 10 feet, or such greater distance required to accommodate off street parking. Exception: On lots abutting Durham Street, front yard setbacks for new structures may be reduced to 3 feet for up to 50% of the building facade along Durham Street. The remaining 50% of the building may be between 5' and 10' from the front property line. The design of new structures along Durham Street must be compatible with LODS Section 24 (Old Town Design Standards).

3. The Development Review Commission may increase required setbacks as necessary to achieve compliance with the development standards adopted pursuant to LOC Ch. 49.

4. Where a lot zoned DD abuts a lot zone EC or R0-EC, a setback shall be established on the lot zoned DD of a depth equal to the setback required for the abutting yard in the abutting zone. On the lot zoned DD, a landscaped buffer a minimum of 5" in width is required in the setback area abutting the EC or R0-EC zone. The purpose of the landscaped area is to provide a vegetative screen. Plant material used for screening and buffering shall be of a size that will achieve sufficient height within three years of the date of planting to provide adequate screening.

5. a. When a new multi-family development or the expansion or reconstruction of an existing multi-family development occurs in a DD zone subject to DRC review as provided in LOC 48.08.275(2) which abuts an existing

less intensive residential use, the proposed multifamily structure shall be set back from the boundary of the less intensive use by at least the amount of feet equal to the height of the multi-family structure.

b. A setback of 15 feet will be required for new duplex development, or the expansion or reconstruction of an existing duplex development in the DD zone subject to DRC review as provided in LOC 48.08.275(2), when the proposed development:

- 1) is greater than 28 feet in height, and
- 2) abuts an existing, less intensive residential use.

c. Developments subject to subsection 5(a) or 5(b) of this section shall provide a landscaped area at least five feet wide within the setback area abutting the less intensive use. The purpose of the landscaped area is to provide a vegetative screen. Plant material used for screening and buffering shall be of a size that will achieve sufficient height within 3 years of the date of planting to provide adequate screening.

6. Front lot lines on corner lots may face either street. The City Manager shall determine the front lot line after taking into consideration the orientation of structures on the site and nearby lots, the ability to meet setbacks without variances, and physical site or solar access limitations. Street access should be to local streets.

7. Setbacks required by this section may be reduced pursuant to the provisions of LOC 57.06.090 without the need to receive a variance pursuant to this chapter. (Ord. No. 1851, Sec. 1; 11-16-82. Ord. No. 1908, Sec. 1; 2-19-85. Ord. No. 1974, Sec. 4; 10-18-88.)

(Ord. No. 2091, Amended, 04/19/94; Ord. No. 2148, Amended, 07/22/97; Ord. No. 2156, Amended, 09/16/97)

48.08.265. Height of Structure.

1. On a lot or lots being developed as one project of 1/2 acre or greater in total area, structures shall not exceed 35 feet in height. Exception: Structure height may average 40 feet over the entire site, with no individual structure exceeding 50 feet in the following circumstances:

- a. 25% or more of the gross site area is constrained by steep slopes, floodplain or mapped sensitive lands; or
- b. the development is for a Special Use Housing Project; and
- c. Structures taller than 35 feet are set back at least 50 feet from a public street.

2. On lots of less than 1/2 acre, the height of a structure shall not exceed 35 feet.

3. No structure shall exceed 35 feet on any lot in the DD zone which is closer than 60 feet to a lot carrying a residential zone other than DD, R-0, 3 or 5. (Ord. No. 1851, Sec. 1; 11-16-82.)

(Ord. No. 2156, Amended, 09/16/97)

48.08.270. Lot Coverage.

1. Maximum lot coverage for single family, detached dwellings in the DD zone is 35%.

2. Maximum lot coverage (including parking areas) for duplex or zero lot line developments in the DD zone is 60%.

3. The following maximum amounts of impervious surface coverage shall be permitted in the DD zone:

<u>Dwelling Type</u>	<u>Maximum Impermeable Surface Allowed:</u>
Single Family Detached	60%
Duplex, zero lot line	65%
Multi-family and rowhouse	70%

(Ord. No. 1851, Sec. 1; 11-16-82.) (Ord. No. 2091, Amended, 04/19/94; Ord. No. 2129, Amended, 04/02/96; Ord. No. 2156, Amended, 09/16/97)

48.08.275. Development Review.

In the DD zone major developments and the following listed minor developments, as those terms are used in LOC 49.20.110 and 49.20.115,

(Rev. 08/04/98; bp)

are subject to review by the Development Review Commission. The minor developments subject to Development Review Commission review are:

1. Construction of new detached single-family dwellings, duplexes, zero lot line and multi-family dwellings and exterior modifications to structures containing non-conforming uses that require a building permit and

2. Expansion or reconstruction of the structures listed in subsection 1. above, that result in a change of use (e.g. from single family to duplex) or in an expansion of floor area of an existing structure by more than 50%. (Ord. No. 1882, Sec. 12; 3-6-84.)

(Ord. No. 2091, Amended, 04/19/94; Ord. No. 2129, Amended, 04/02/96; Ord. No. 2156, Amended, 09/16/97)

48.08.276. Old Town Advisory Opinion.

The City Manager may request an advisory opinion from the Old Town Neighborhood Association regarding interpretation or application of standards and requirements of the DD zone. (Ord. No. 2156, Enacted, 09/16/97)

48.08.280. Allowable Density and Density Transfer.

1. Except as provided in subsection 2. of this section, this section explains the method for computation of the number of units allowed for each site in the DD, WR, R-0, R-3, R-5, R-7.5, R-10 and R-15 zones, except in mixed use zones.

a. Compute the area of Net Developable Acre by subtracting from gross acreage (at 43,560 sq.ft. per acre) of residentially designated land the area required for street right-of-way. For public streets, use the actual acreage if known or 20% of the gross acreage. For private streets, use actual acreage if known or 40 foot right-of-way.

b. For all residential zones except the R-0 zone if there are existing dwellings on the site that will remain as a part of the development, subtract from the area calculated in A, an area

amount equal to the minimum lot area per unit required in the zone. For the R-0 zone subtract an area amount equal to 1.2 times the floor area for the existing dwellings.

c. Compute the area of Density Transfer Acre by adding together the area of the components listed below.

i. Area within the floodway and the floodway fringe as shown on U. S. Army Corps of Engineers' flood maps.

ii. Area over 25% slope.

iii. Area in known landslide areas or in areas shown to have potential for severe or moderate landslide hazard.

iv. Area in public open space and parks.

d. Subtract the area of the Density Transfer Acre from the difference obtained after performing the calculation described in subsection 1.b., or if there are no existing dwellings on the site that will remain, from the area of the Net Developable Acre.

e. For zones, other than the R-0 zone, calculate the base number of units by dividing the result of the calculation from subsection 1.d. by the minimum lot area per unit allowed in the zone. For the R-0 zone, there is no base number of units. The base allowable FAR is 1.2 times the result of the calculation from subsection 1.d..

f. The area of the Density Transfer Acre may be added to the area of Net Developable Acre for the purpose of density calculation to the extent that the applicant has demonstrated by site specific information (in specified cases by an engineer's report) that the requirements of the Development Standards will be met for all units proposed to be built. The number of units allocated to the Density Transfer Acreage is computed in the same manner as the base number of units or FAR is calculated pursuant to subsection 1.e., less any units which cannot be placed due to failure to comply with the requirements of the Development Standards.

g. To determine the total number of units or FAR allowed on the site, add to the result of the calculation in subsection 1.e. the result of the calculation in subsection 1.f..

h. The hearing body will review the above calculations as part of the hearing process on the application. LOC 48.04.130(1)(b), 48.06.205(1)(b) and 48.08.255(3)(b) provide that the hearing body will approve the total number of units calculated in subsection 1.g. above if the facts presented by the applicant demonstrate that the resulting density can occur within requirements set forth in the Development Standards.

2. LOC 48.04.125, 48.04.130(2), 48.06.195, 48.06.205(2), 48.08.245, LOC Article 48.17. and Development Standard 21, the Residential Energy Conservation Incentives, provide for density bonuses under specified circumstances. The maximum number of units will not exceed the numbers allowed by those sections.

(Ord. No. 2088, Enacted, 03/03/94; Ord. No. 2148, Amended, 07/22/97)

Old Town Neighborhood Plan

APPENDIX II

Article 49.20. Types of Development.**49.20.100. Exempt Development.****49.20.105. Ministerial Development.****49.20.110. Minor Development.****49.20.115. Major Development.****49.20.100. Exempt Development.**

No development permit pursuant to this code is required for exempt development. Exempt Developments Include:

1. Landscaping or landscape alterations, unless such landscaping or alterations would modify or violate a condition of approval of a prior permit. In such instance, the permit shall be processed as a modification of the prior permit.
2. Normal or emergency repair or maintenance of public or private buildings, structures, landscaping or utilities.
3. Construction of a structure that does not require a building permit.
4. Interior remodeling which does not change a structure's occupancy classification or change the structure to a use that does not qualify as a permitted use in the zone.
5. Exterior remodeling of a structure that does not require a building permit.
6. Street vacations.
7. Temporary structures and uses listed in LOC 48.20.510 or which are for relief of victims of disaster or in an emergency.

(Ord. No. 2088, Enacted, 03/03/94)

49.20.105. Ministerial Development.

1. A ministerial development is a development which requires a permit from the City where the decision:
 - a. Is made pursuant to land use standards which do not require interpretation or the exercise of policy or legal judgement;
 - b. Approves or denies a building permit issued under clear and objective land use

(Rev. 06/01/98; bp)

standards; or

c. Determines final engineering design, construction, operation, maintenance, repair or preservation of a transportation facility which is otherwise authorized by and consistent with the comprehensive plan and land use regulations.

2. Ministerial developments include:

a. Exterior modification of single family detached dwellings, duplexes or zero lot line dwellings or modification of an accessory structure in the DD zone.

b. Construction or exterior modification of a detached single family dwelling, duplex, zero lot line dwelling or a structure accessory to such structures which:

i. Is not located within a delineated RP resource or buffer area [unless the applicant desires to modify the buffer pursuant to LOC 48.17.305(3), in which case the application shall be processed as a minor development] or RC protection area pursuant to LOC Article 48.17.

ii. Does not impact an Historic Landmark designated pursuant to LOC Chapter 58.

iii. Does not change the nature of the use or occupancy classification to a use that does not qualify as a permitted use in the zone or as an approved conditional use; or

iv. Does not require special design review by the zone, design district, prior development approval or Overall Development Plan and Schedule (ODPS) for the development in which the subject property is located.

v. Is not located on weak foundation soils as identified in LODS 13.040(1).

vi. Is not located in a "Known Potential Severe Landslide Area" as defined in LODS 16.010.

vii. Is not located in "Areas of Special Flood Hazard" as defined in LODS 17.015.

c. Exterior modification of a structure other than a detached single family dwelling, duplex, zero lot line dwelling or structure accessory to such structures which:

- i. Does not increase building footprint or height; or
- ii. Does not modify more than 25% of the facade or, if the property abuts property zoned for residential use, does not modify any portion of the facade visible from the residentially zoned property; and
- iii. Complies with LOC 49.20.105(2)(b)(i) through (vii).
- d. Lot line adjustments which do not increase the allowable density on a site.
 - i. Resource enhancement projects in an RP or RC District.
 - ii. Passive use recreational facilities within an RC or RP District if such a facility would otherwise qualify as a ministerial development.
- e. Construction or alteration of public transportation or utility facilities consistent with the Comprehensive Plan and land use regulations and is not located in a delineated RP Resource or buffer or RC protection area pursuant to LOC Article 48.17.
- f. Building permits for structures approved pursuant to a prior approved major or minor development.
- g. A change of use from one permitted use to another that does increase on-site parking or loading requirements or change access requirements pursuant to LODS Chapter (7) and will not result in the construction or the increased use of private streets, driveways or parking lot aisles pursuant to LODS Chapter (19).
- h. Collocated Telecommunications Facilities.
 - i. Delineation of a resource boundary pursuant to LOC 48.17.105(15).

3. Ministerial decisions are made without notice or the opportunity for appeal. (Ord. No. 2088, Enacted, 03/03/94; Ord. No. 2092, Amended, 03/15/94; Ord. No. 2129, Amended, 04/02/96; Ord. No. 2132, Amended, 07/02/96; Ord. No. 2149, Amended, 04/17/97; Ord. No. 2148, Amended, 07/22/97; Ord. No. 2156, Amended, 09/16/97; Ord. No. 2164, Amended, 01/20/98)

(Rev. 06/01/98; bp)

49.20.110. Minor Development.

1. A Minor Development is a development which requires a permit from the City that requires a more discretionary level of review than a ministerial decision. "Minor Development" is intended to include decisions defined as "limited land use decisions" pursuant to ORS 197.020(12).

2. "Minor Development" includes:

- a. Construction of new single family detached dwellings, zero lot line or duplex dwellings or accessory structures or exterior remodeling of a structure containing a non-conforming use that requires a building permit, in the DD zone.
- b. Construction or exterior modification of a detached single family structure, duplex, zero lot line dwelling or a structure accessory to such structures which:
 - i. Does not qualify as a ministerial decision pursuant to LOC 49.20.105(2)(b)(i) through (xi);
 - ii. Requires one or more Class 1 Zoning Code or Class I Development Code variances; or
 - iii. Involves a determination by the Planning Director that a use not expressly permitted in the zone may be allowed pursuant to the considerations contained in LOC 48.02.095. In such case, the required notice shall include a description of the proposed use and the reasons for the Planning Director's determination.
 - iv. Involves an improvement to an existing park or school facility that will increase the capacity of the park or school facility, generate additional traffic, or generate significant additional noise or other negative impact on the surrounding neighborhood.
- c. Secondary dwelling units.
- d. Construction of a structure other than a detached single family dwelling, duplex, zero lot line dwelling or accessory structure, or an exterior modification of such a structure which does not qualify as a

DEVELOPMENT CODE

§ 49.20.110

ministerial development pursuant to LOC 49.20.105(2)(c).

e. Lot line adjustments which require one or more Class 1 Zoning Code or Class I Development Code Variances or which would increase allowable density on the site.

f. Partitions, including partitions which require one or more Class 1 Zoning Code or Class I Development Code Variances.

g. Subdivisions, including subdivisions which require one or more Class 1 Zoning Code or Class I Development Code Variances.

h. Review of development phases subject to an ODPS.

i. A change of use from one permitted use to another that increases on-site parking or loading requirements or which changes access requirements pursuant to LODS Chapter (7) or that will result in the construction or the increased use of private streets, driveways or parking lot aisles pursuant to LODS Chapter (19).

j. Determining an RC District protection area pursuant to LOC 48.17.205.

3. Minor developments are initially decided by the Planning Director subject to notice, the opportunity to request a hearing, and appeal as provided by LOC 49.40.800 to LOC 49.40.820.

(Ord. No. 2088, Enacted, 03/03/94; Ord. No. 2092, Amended, 03/15/94; Ord. No. 2129, Amended, 04/02/96; Ord. No. 2148, Amended, 07/22/97; Ord. No. 2156, Amended, 09/16/97; Ord. No. 2164, Amended, 01/20/98)

49.20.115. Major Development.

1. A Major Development is a development which requires a permit from the City involving the greatest level of review.

2. "Major Development" includes:
a. Construction or exterior modification of a permitted use, a permitted accessory structure or an prior approved

conditional use in the zone in which the property is located which requires one or more Class 2 Zoning Code or Class II Development Code variances.

b. Lot line adjustments which require one or more Class 2 Zoning Code or Class II Development Code Variances.

c. Partitions which require one or more Class 2 Zoning Code or Class II Development Code Variances.

d. Subdivisions which require one or more Class 2 Zoning Code or Class II Development Code Variances.

e. Conditional uses.

f. Planned Developments (PD).

g. Any development defined as major development pursuant to this section which is proposed to be phased pursuant to adoption of an Overall Development Plan and Schedule (ODPS).

h. Any development which requires a Comprehensive Plan or Development or Zoning Code map or text amendment.

i. Construction of any public or private road, or major transportation or utility facility within a delineated RP District or buffer or RC protection area.

3. A Major Development is subject to public notice, hearing and opportunity for appeal as described in LOC 49.44 to 49.46.

(Ord. No. 2088, Enacted, 03/03/94; Ord. No. 2148, Amended, 07/22/97)

Old Town Neighborhood Plan

APPENDIX III

24.005 Title.

The title of this standard is "Old Town Building Design Standard". (Res. R-97-23; 09-02-97)

24.010 Purpose.

The purpose of this standard is to develop a cohesive and orderly relationship between existing and proposed buildings in the Old Town Neighborhood by providing visual connections defined by the predominant architectural characteristics of the Old Town Styles (Appendix B). Copying the existing building styles is not the intention of these guidelines. While a new development may have a distinctive identity, its overall effect should support and reinforce the Old Town Styles.

24.015 Definitions.

Old Town Styles.

Building appearance which borrows from the vernacular (gable front) style, craftsman bungalow style and Cape Cod (neo-colonial) style, which are the predominant historic styles in the DD District. These buildings are characterized by simple massing and composition, use of natural building materials, window and door openings emphasized with trim, and gable and hip roof forms. (Appendix B).

24.020 Applicability.

This standard is applicable to Major Development or Minor Development within the DD (Design District) Zone that is required to be reviewed by the Development Review Commission as described in LOC 48.08.275.

24.025 Building Siting and Massing.

1. Simple Massing Required.

New buildings shall utilize massing and composition characteristic of the Old Town Styles (See Appendix B) and shall be compatible with existing structures of the Old Town Styles located on the block face where the proposed structure will be located as well as those structures of the Old Town Styles in the block face across the street from where the proposed structure will be located. In addition to the other requirements of this section, rowhouse or townhouse units shall be differentiated from one another through the use of varied setbacks for each unit or groups of units and/or varied roof lines and heights to provide visual interest and create the appearance of a single family development pattern along the street. Abutting rowhouse or townhouse units shall not have identical facades.

2. Roof Form and Pitch.

New structures shall be designed with gable and hip roof forms. Flat or shed roof forms are prohibited for primary structures, but may be allowed for secondary building projections such as dormers or porches. (Appendix B, Figure 1). Roof pitch shall be similar to typical pitches of Old Town Styles. In no case shall pitch be less than 6':12' for the primary roof form. Structures located on the same block face as the proposed development as well as on the block face across the street, that are examples of the Old Town Styles, shall also be considered in determining preferable roof pitch. For corner lots, structures in the Old Town Styles on both block faces of the proposed development, as well as adjacent blocks across these streets, shall be considered.

24.030 Building Design and Materials.

1. Old Town Style Required.

New buildings shall be designed using the building design elements described in the Old Town Styles, to create buildings which blend with existing structures in these styles located on the same block face as the proposed development and on the block face across the street.

2. Materials.

a. Moldings.

Moldings, window casings and other trim elements utilized on buildings shall be similar to those represented in the Old Town Styles. Where possible, they shall match or compliment the detailing of structures on the same block face as the proposed development and on the block face across the street, which are designed in the Old Town Styles.

b. Siding.

The predominant exterior siding materials in the Old Town Styles are: (1) horizontal wood siding, (3 to 8 inch wide shiplap or clapboard), (2) board and batten siding, and (3) stone, brick or stucco of a type used in the Old Town Styles, and 4) plain or patterned wood shingles as described in the Old Town Styles. These materials may be used alone or in combination.

Development should use traditional materials as discussed in the Old Town Styles Description, but may include representations of the actual materials in pressed wood products, vinyl or metal. Traditional masonry materials, or concrete or other products made to appear like brick or stone, may also be used.

c. Prohibited Siding Materials.

Grooved, presawn plywood, (e.g., T-111), corrugated metal, diagonally applied or vertically oriented siding materials, with the exception of (2)(b)(2), above, are prohibited.

d. Roofing Materials.

Composition shingles, wood shingles or ceramic tiles, or materials which have the appearance of composition or wood shingles, or ceramic tiles, shall be used.

e. Chimneys

Chimneys shall be brick or stone, or boxed-in with the predominant siding material of the building.

f. Windows.

The general window shape and typical window placement and trim of the Old Town Styles shall be followed. Sash materials shall be wood, or vinyl, or other material with the appearance of wood.

g. Entrances and Stairs.

i. Entrances:

New buildings should have a minimum of one principal entry clearly visible from the street. This entry should be accentuated by characteristic elements of the Old Town Styles to make it a visual focal point. Where an entry to an additional unit is not directly visible from the street, its location should be clearly marked by some identifying feature such as an entry trellis, or entry gate with a visible address.

ii. Stairs:

Front entry stairs shall contain no more than seven (7) risers between each landing.

24.035. Fencing and Landscaping.

1. Fencing.

Fencing is not required. When fencing is included in the front yard, it shall be used in an ornamental or symbolic way rather than as a visual barrier. Metal chain link fencing is prohibited within the front yard setback. The maximum height of fencing within the front yard setback area shall be 48". Maintenance of existing stone fences is encouraged

when new development is proposed. Construction of new stone fences that are of similar height and character to existing stone fences is also encouraged.

2. Trees and Landscaping.

a. Mature trees or tree groves shall be preserved and incorporated into the site plan for new development, where feasible, unless doing so would substantially reduce development options on the site.

b. Two (2) street trees for every 50 feet of street frontage are required as a condition of approval of a new structure. Existing street trees can be counted in order to comply with this requirement, as long as the type, location and viability of the existing trees are sufficient to provide a full streetscape of trees. New street trees shall be selected from the City of Lake Oswego Draft "Approved Street Tree Planting List," (Appendix B, Figure 5).

24.040 Garages.

If a garage is provided, it shall meet the following siting requirements: (Also see Appendix B, Figure 4)

1. Minimize the visual impact of garages and parking from the street by:

a. Facing the garage door(s) on a separate street frontage from the front door of the primary structure, or

b. Setting back the side of the garage facing the street a minimum of five feet behind the front building line of the primary structure, when the garage doors are parallel to the same street frontage as the primary structure, or

c. Accessing the garage or parking area from the rear of the lot, where feasible.

2. Garages shall have the same roof pitch as the primary structure.

24.045 Additional Requirements for Multiple Family Dwellings.

Due to the potential size of multi-family structures, attention should be given to incorporating design forms and elements of surrounding buildings that are in the Old Town Styles, so that new structures are visually reduced in scale and relate to nearby residential structures and neighborhood scale in general. In addition to compliance with 24.025-24.035, multi-family projects shall also be subject to the following considerations: (See Appendix B, Figures 2 and 3)

1. Create visual linkages with surrounding buildings in the Old Town Styles by repeating or incorporating similar ridge lines, eaves, window and door openings.

2. Offset building walls and roof lines to approximate width and height ratios of surrounding buildings.

3. Incorporate similar roof forms and gables, and smaller elements like porches, dormers or bays, to reduce the scale of new buildings and better relate them to nearby residential structures. Roof pitch may be less steep than 6':12' if a reduction results in visually reducing the scale of the proposed structure and better relates the proposed structure to those surrounding structures in the Old Town Styles.

4. Use landscape buffers between parking areas and the street as well as abutting residences.

5. Create visual interest along the street by breaking walls into smaller planes with windows, entrances, dormers or other appropriate design elements (Appendix B, Figure 3).

6. Break large parking areas into smaller groupings, where possible. Minimize the width of driveway curb cuts. Screen parking from the street with landscaping. Locate parking under, or at the sides and rear of buildings.

APPENDIX B OLD TOWN STYLES DESCRIPTION

Old Town Style:

Building appearance which borrows from the vernacular, (gable front) style, craftsman bungalow style and Cape Cod (neo-colonial) style. These buildings are characterized by simple massing and composition, use of natural materials, window and door openings emphasized with trim, and gable and hip roof forms.

Vernacular Style:

One or two story with moderately pitched gable front or side shape, often with a partial or full width front porch with shed or hip roof. Vernacular house forms include square, rectangular, L- or T-plan with intersecting gables. These houses include symmetrical placement of doors and double hung sash windows, which are emphasized by window trim. They are typically sided with shiplap, clapboard or other wood horizontal siding. Typically, there is little or no decorative detailing. On the more complex structures with intersecting gables, the roof ridge of one of the gables is sometimes higher than the other adjacent wing.



A typical vernacular “worker cottage” in Old Town.

Craftsman Style:

Low pitched gabled roof (occasionally hip) with wide, overhanging eaves, roof rafters usually exposed, decorative (false) beams or braces commonly added under gables, porches either full or partial width, with roof supported by tapered square columns or pedestals, frequently extended to ground level and frequently composed of stone, clapboard, brick or in combination. Dormers are commonly gabled, hip or shed roofed. Double hung windows, often multi-light in top half or often grouped in two's or three's, or large windows in the front facade with smaller pane sections above and often flanked by two smaller windows. The most common wall cladding is wood clapboard, wood and shingles, with stone and brick used in combination, or for porch post pillars or columns. Stucco is occasionally used as is board and batten.



Craftsman

Neo-Colonial (or Cape Cod):

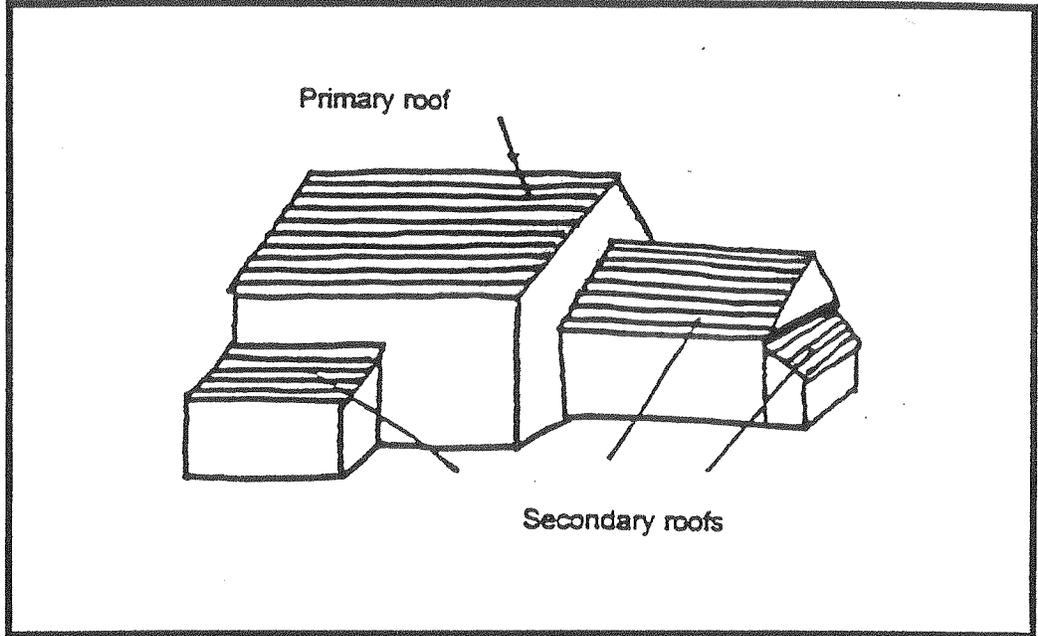
This is one of the styles built in America since 1940. The neo-colonial is a simplified form loosely based on the previously popular colonial of the 20's and 30's. This style grades into the preceding Colonial Revival style but differs in showing less concern for precisely copying Colonial prototypes. Free interpretations of colonial door surrounds and colonnaded entry porches are often used. Facades, although usually symmetrical, also lack the regularly spaced patterns of window placement seen in Georgian and Adam houses.

Cape Cod structures have a rectangular or L-plan, side gable roofs, sometimes with an intersecting gable often with dormers. There is often an accentuated front door, with a decorative crown (pediment) supported by pilasters or extended forward and supported by slender columns to form a small entry porch. Windows typically are with double-hung sashes, usually with multi-pane glazing on one or both sashes, frequently in adjacent pairs.



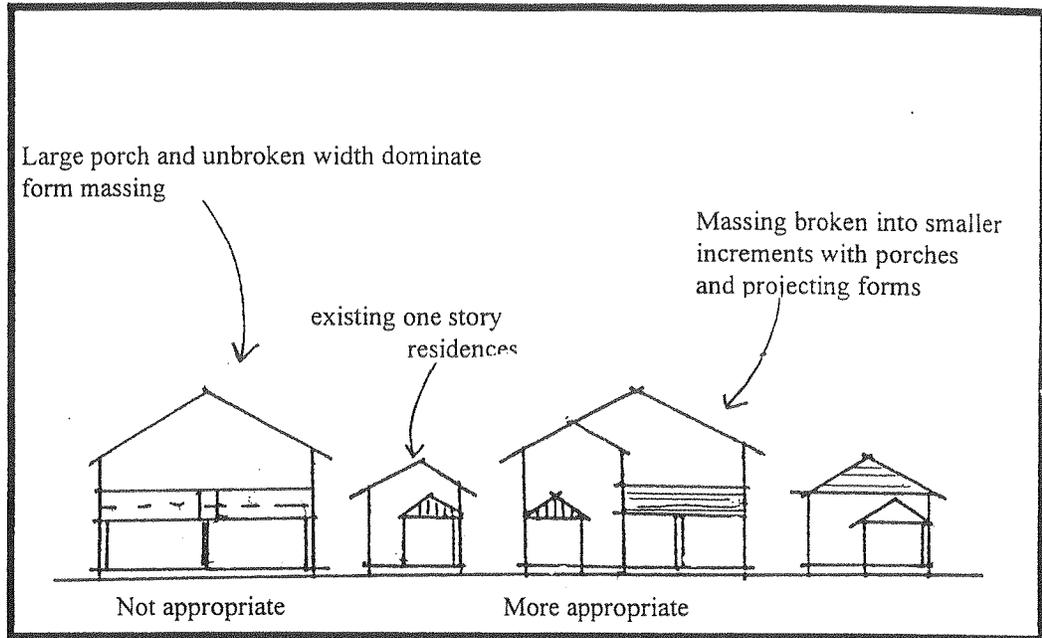
Cape Cod

Figure 1



Primary and Secondary Roof Forms

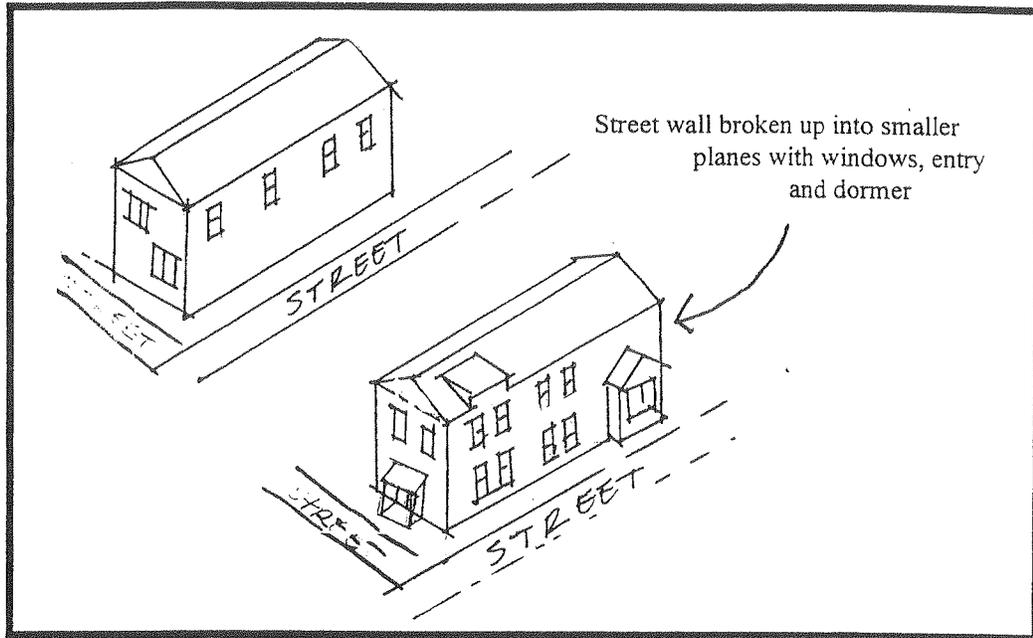
Figure 2



- Create visual linkages
- Offset building walls and roof lines
- Incorporate similar roof forms and smaller design elements

(Note: The intent of this drawing is not to indicate that full-length porches are not acceptable for multi-family dwellings, but that design features must be considered along with overall form and massing to achieve compatibility.)

Figure 3



- Create visual interest along the street
- Incorporate porches, dormers and bays to reduce scale of buildings and better relate to existing structures

Figure 4

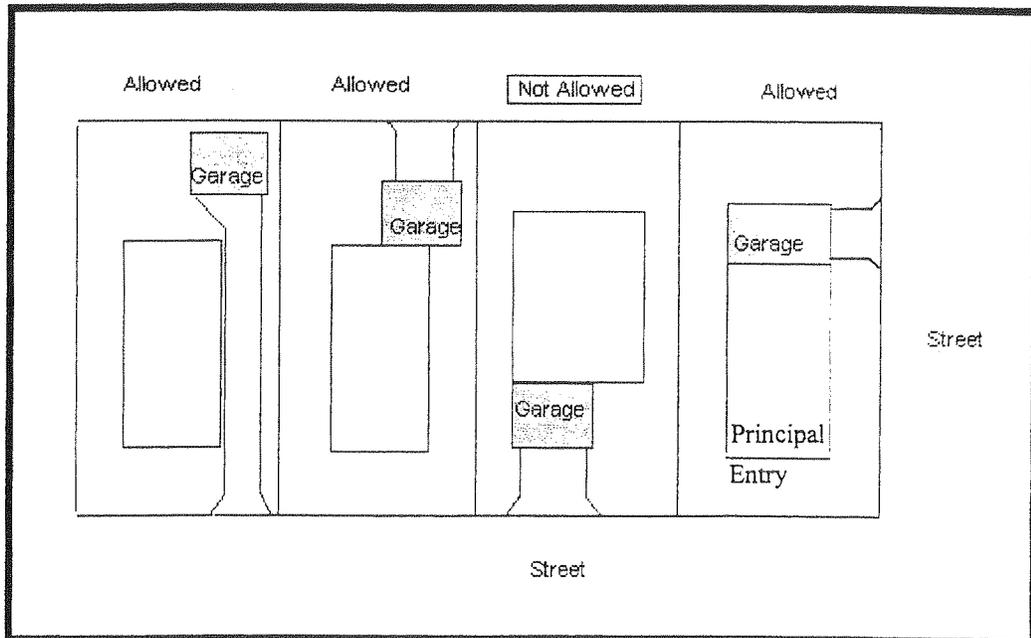


Figure 5, LODS 24.000, Old Town Design Standards

CITY OF LAKE OSWEGO
APPROVED STREET TREE PLANTING LIST

TREES FOR PLANTING STRIP SIZE UP TO 4'

<i>Tree Species</i>	<i>Height</i>	<i>Spread</i>	<i>Structure</i>	<i>Foliage</i>	<i>Flowers</i>	<i>Fall Color</i>	<i>Fruit</i>
Crimson Sentry Norway Maple / <i>Acer platanoides</i> 'Crimson Sentry'	25'	12'	Very Upright Dense	Red		Maroon to Reddish - Bronze	
Allegheny Serviceberry / <i>Amelanchier laevis</i>	25'	15'	Upright Oval	Green	White Clusters	Orange	Purplis Blue
Pyramidal Serviceberry / <i>Amelanchier canadensis</i> <i>Pyramidalis</i>	30'	12'	Very Upright	Dark Green	White Racemes	Brilliant Reds & Oranges	Maroo Purple Heavy Fruits
Lavalle Hawthorn / <i>Crataegus</i> X <i>Lavellei</i>	30'	20'	Upright to Vase	Dark Green	White Clusters	Bronze	Orange to Red
Crimson Cloud Hawthorn / <i>Crataegus laevigata</i> 'Crimson Cloud'	25'	18'	Oval	Glossy Green	Bright Red White Centers		Bright Red
Columnar Hawthorn / <i>Crataegus monogyna stricta</i>	30'	10'	Tightly Upright	Green	Double White	Yellow	Red
Flowering Ash / <i>Fraxinus ornus</i>	30'	15'	Pyramidal to Round	Medium Green	Off White Heavily Scented	Yellow	
Columnar Goldenrain / <i>Koelreuteria paniculata</i> <i>Fastigiata</i>	30'	6'	Narrow Fastigate	Green	Yellow	Yellow	Yellow Pods
Goldenchain / <i>Laburnum Vossi</i>	30'	20'	Upright to Vase	Green	Yellow Racemes	Yellow	
Blireiana Plum / <i>Prunus</i> X <i>Blireiana</i>	20'	20'	Round	Purple - Green	Bright Pink	Reddish - Bronze	
Newport Plum / <i>Prunus cerasifera</i> 'Newport'	20'	20'	Oval to Round	Dark Purple	Light Pink	Reddish	
Japanese Tree Lilac / <i>Syringa reticulata</i>	25'	15'	Pyramidal	Green	White Panicle		Yellow Brown
Trident Maple / <i>Acer buergeranum</i>	25'	20'	Oval to Round	Dark Green		Yellow Orange	
Paperbark Maple / <i>Acer griseum</i>	30'	20'	Round	Green above & Silvery under		Bright Red - Orange	
Amur Maple / <i>Acer ginnala</i>	20'	20'	Upright Round	Green		Yellow	
Hedge Maple / <i>Acer campestre</i>	25'	25'	Round	Dark Green		Yellow	
Glorybower Tree / <i>Clerodendrum trichotomum</i>	20'	20'	Round	Dark Green	White Fragrant Clusters		Blue - Green
Rocky Mountain Glow Maple / <i>Acer grandidentatum</i> 'Schmidt'	25'	15'	Oval	Dark Green		Bright Red	

**CITY OF LAKE OSWEGO
APPROVED STREET TREE PLANTING LIST**

TREES FOR PLANTING STRIP SIZE 4' TO 5 1/2'

<i>Tree Species</i>	<i>Height</i>	<i>Spread</i>	<i>Structure</i>	<i>Foliage</i>	<i>Flowers</i>	<i>Fall Color</i>	<i>Fruit</i>
Queen Elizabeth Maple / Acer campestre 'Queen Elizabeth'	35'	30'	Upright	Dark Green		Yellow	
Cleveland II Norway Maple / Acer platanoides 'Cleveland'	40'	25'	Upright	Medium Green		Bright Yellow	
Parkway Norway Maple / Acer platanoides 'Columnar Broad'	40'	25'	Oval	Dark Green		Yellow	
Paperbark Maple / Acer griseum	30'	20'	Round	Green above & Silver under		Bright Red - Orange	
Variiegated Norway Maple / Acer platanoides 'Drummondii'	35'	25'	Broadly Oval	Light Green White Margin			
Pacific Sunset Maple / Acer truncatum X A. Platanoides 'Warrenred'	30'	25'	Upright	Dark Green			
Chinese Dogwood / Cornus kousa Chinensis	30'	30'	Round	Green	White	Red	Red Pi
September Goldenrain / Koelreuteria paniculata 'September'	30'	25'	Flat Topped Open	Green	Yellow	Yellow	
Red Bud / Cercis canadensis	20'	25'	Spreading	Medium Green	Pink	Yellow	
American Hophornbeam / Ostrya virginiana	35'	25'	Oval	Medium Green		Yellow	
Newport Plum / Prunus cerasifera 'Newport'	20'	20'	Oval to Round	Dark Purple	Light Pink		Red
Capital Pear / Pyrus calleryana 'Capital'	35'	12'	Columnar	Medium Green	White Clusters	Reddish Purple	
Chanticleer Pear / Pyrus calleryana 'Glen's Form'	40'	15'	Pyramidal	Glossy Green	White Clusters	Orange Red	
Rocky Mountain Glow Maple / Acer grandidentatum 'Schmidt'	25'	15'	Oval	Dark Green		Bright Red	
Japanese Stewartia / Stewartia pseudo-camellia	40'	20'	Pyramidal	Dark Green	White Orange Center	Dark Red	
Rancho Linden / Tilia cordata 'Rancho'	45'	20'	Pyramidal	Dark Green	Yellow Fragrant	Yellow	
Chancellor Linden / Tilia cordata 'Chancellor'	35'	20'	Pyramidal	Dark Green		Yellow	

**CITY OF LAKE OSWEGO
APPROVED STREET TREE PLANTING LIST**

TREES FOR PLANTING STRIP SIZE 4' TO 5 1/2'

<i>Tree Species</i>	<i>Height</i>	<i>Spread</i>	<i>Structure</i>	<i>Foliage</i>	<i>Flowers</i>	<i>Fall Color</i>	<i>Fruit</i>
Lavalle Hawthorn / Crataegus X Lavellei	30'	20'	Upright	Dark Green	White	Bronze Red	Red
Flowering Ash / Fraxinus ornus	30'	15'	Pyramidal to Round	Medium Green	Off White Fragrant	Yellow	
Pyramidal Hornbeam / Carpinus betulus fastigiata	35'	20'	Broadly Oval	Dark Green		Yellow	
Olmsted Columnar Norway Maple / Acer platanoides columnar 'Olmsted'	40'	20'	Upright	Dark Green		Yellow	
Armstrong II Red Maple Acer rubrum 'Armstrong'	45'	15'	Narrow Fastigiata	Light Green		Yellow Orange - Red	
Gerling Red Maple Acer rubrum 'Gerling'	35'	20'	Pyramidal	Green		Orange - Red	
Saratoga Ginkgo Ginkgo biloba 'Saratoga'	30'	30'	Compact Spreader	Greenish - Gold		Yellow	
Columnar Sargent Cherry Prunus sargentii columnaris	30'	10'	Fastigiata	Green	Deep Pink	Orange - Red	
Glorybower Tree Clerodendrum trichotomum	20'	20'	Round	Dark Green	White Fragrant Clusters		Blue - Green
Globe Sugar Maple / Acer saccharum globosum	15'	20'	Round	Medium Green		Yellow & Orange	
Globe Serviceberry / Amelanchier canadensis oblongifolia	20'	20'	Round	Green	White	Bright Yellow - Red	Maroo Purple
Magnolia soulangiana Saucer magnolia	20'	20'	Upright- Rounded	Green	Red/ White	Yellow- Brown	

CITY OF LAKE OSWEGO

APPROVED STREET TREE PLANTING LIST

TREES FOR PLANTING STRIP SIZE 6' TO 8'

<i>Tree Species</i>	<i>Height</i>	<i>Spread</i>	<i>Structure</i>	<i>Foliage</i>	<i>Flowers</i>	<i>Fall Color</i>	<i>Fruit</i>
Urbanite Ash / Fraxinus pennsylvanica 'Urbanite'	50'	40'	Broadly Pyramidal	Lustrous Green		Bronze	
Marshall Ash / Fraxinus pennsylvanica lanceolata	50'	40'	Broadly Oval	Dark Green		Yellow	
Skyline Ash / Fraxinus americana 'Skyline'	45'	35'	Oval	Medium Green		Orange Red	
European Hornbeam / Carpinus betulus	50'	35'	Oval to Round	Dark Green		Gold Yellow	
Hackberry / Celtis occidentalis	45'	35'	Oval	Dark Green		Yellow	
Katsura Tree / Cercidiphyllum japonicum	40'	35'	Oval	Bluish - Green		Yellow to Scarlet	
Sourwood / Oxydendrum arboreum	50'	25'	Pyramidal	Green	White	Brilliant Scarlet	Golden
Macho Cork Tree / Phellodendron amurense 'Macho'	40'	30'	Broadly Vase	Medium Green		Yellow	
Tricolor Beech / Fagus sylvatica 'Rosed - Marginata'	40'	30'	Broadly Oval	Purple, Light Pink Border			
Yellowwood / Claprasitis lutea	40'	35'	Round	Yellow - Green to Bright - Green	White Fragrant Clusters	Orange to Yellow	
Skyline Honeylocust / Gleditsia triacanthos 'Skyline'	50'	35'	Broadly Pyramidal	Medium Green		Golden	
Shademaster Honeylocust / Gleditsia triacanthos 'Shademaster'	45'	35'	Vase	Dark Green		Yellow	
Scarlet Oak / Quercus coccinea	50'	40'	Broadly Oval	Glossy Green		Scarlet	
Glenleven Linden / Tilia cordata 'Glenleven'	45'	30'	Pyramidal	Medium Green		Yellow	
Halka Zelkova / Zelkova serrata 'Halka'	45'	30'	Vase	Medium Green		Yellow	
Globe Norway Maple / Acer platanoides globosum	15'	18'	Round	Medium Green		Yellow	
Globe Sugar Maple / Acer saccharum globosum	15'	20'	Round	Medium Green		Yellow & Oranges	
Saratoga Ginkgo / Ginkgo biloba 'Saratoga'	30'	30'	Round	Green Gold		Yellow	
Emerald Queen Norway Maple / Acer platanoides 'Emerald Queen'	50'	40'	Oval	Dark Green		Bright Yellow	

**CITY OF LAKE OSWEGO
APPROVED STREET TREE PLANTING LIST**

TREES FOR PLANTING STRIP SIZE 8 1/2' AND LARGER

<i>Tree Species</i>	<i>Height</i>	<i>Spread</i>	<i>Structure</i>	<i>Foliage</i>	<i>Flowers</i>	<i>Fall Color</i>	<i>Fruit</i>
Sycamore Maple / Acer Pseudo platanus	60'	50'	Wide Spreading	Green		Yellow	
Schwedler Norway Maple / Acer platanoides 'Schwedler'	50'	45'	Round	Green		Yellow	
Red Maple / Acer rubrum	60'	50'	Oval	Medium Green		Orange Red	
Red Oak / Quercus borealis rubra	65'	50'	Round	Green		Red	
Moraine Sweetgum / Liquidambar styraciflua 'Moraine'	60'	30'	Oval	Dark Green		Red Purple	
Red Horsechestnut / Aesculus X Carnea 'Briothii'	60'	40'	Round	Dark Green	Red	Yellow	
Wineleaf Sycamore Maple / Acer pseudo platanus 'Spaethi'	60'	50'	Pyramidal	Dark Green			
Urbanite Ash / Fraxinus pennsylvanica 'Urbanite'	50'	40'	Broadly Pyramidal	Lustrous Green		Bronze	
Yellowwood / Cladrastis lutra	40'	35'	Round	Yellow - Green to Bright - Green	White Fragrant Clusters	Orange to Yellow	
Scarlet Oak / Quercus coccinea	50'	40'	Broadly Oval	Glossy Green		Scarlet	
Halka Zelkova / Zelkova serrata 'Halka'	45'	30'	Vase	Medium Green		Yellow	
Saratoga Ginkgo / Ginkgo biloba 'Saratoga'	50' - 80'	40' - 80'	Variable	Green Gold		Yellow	
Halka Honeylocust / Gleditsia triacanthos 'Christie'	55'	40'	Upright	Green		Yellow	
Flame Ash / Fraxinus oxycarpa 'Flame'	35'	30'	Round	Green		Purple to Red	
Summit Ash / Fraxinus pennsylvanica lanceolata	45'	25'	Pyramidal	Medium Green		Yellow	
Purple Rivers Beech / Fagus sylvatica 'Riversi'	60'	40'	Oval	Deep Purple		Bronze	
Tricolor Beech / Fagus sylvatica 'Rosed - Marginata'	40'	30'	Broadly Oval	Purple, Light Pink Borders		Bronze	

**CITY OF LAKE OSWEGO
APPROVED STREET TREE PLANTING LIST**

TREES FOR PLANTING STRIP SIZE 8 1/2' AND LARGER

<i>Tree Species</i>	<i>Height</i>	<i>Spread</i>	<i>Structure</i>	<i>Foliage</i>	<i>Flowers</i>	<i>Fall Color</i>	<i>Fruit</i>
Catalpa / Catalpa speciosa	75'	50'	Round	Green	White	Yellow	
Katsura Tree / Cercidiphyllum japonicum	40'	35'	Oval	Bluish - Green		Yellow to Scarlet	
Sourwood / Oxydendrum arboreum	50'	25'	Pyramidal	Green	White	Brilliant Scarlet	Golden

CITY OF LAKE OSWEGO
APPROVED NATIVE TREE LIST
(All requiring a minimum 6' wide planting strip)

Conifers

Douglas-fir, *Pseudotsuga menziesii*
Lodgepole/Shore pine, *Pinus contorta*
Western red cedar, *Thuja plicata*
Grand fir, *Abies grandis*
Noble fir, *Abies procera*
Sitka spruce, *Picea sitchensis*
Western hemlock, *Tsuga heterophylla*
Incense cedar, *Libocedrus decurrens*

Deciduous trees

Bigleaf maple, *Acer macrophyllum*
Vine maple, *Acer circinatum**
Black hawthorn, *Crataegus douglasii**
Oregon crab apple, *Malus diversifolia**
Oregon white oak, *Quercus garryana*
Serviceberry, *Amelanchier sp.**

*These trees do not mature into large trees and may be planted in planting strips 4-6' wide.